



Agave Property Inspections PLLC

AGAVE PROPERTY INSPECTIONS, PLLC

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## NEW MEXICO RESIDENTIAL REPORT

1234 Main Street  
El Paso, TX 79924

Buyer Name  
12/20/2025 9:00AM



Inspector  
**Eric Wiles**  
TREC 26410  
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# 1: INFORMATION

## Information

<b>General: Time In</b> 9:00 A.M.	<b>General: Time Out</b> 11:30 A.M	<b>General: In Attendance</b> Buyer
<b>General: Type of Building</b> Single Family	<b>General: Heading</b> Northeast	<b>General: Occupancy</b> Vacant
<b>General: Temperature</b> 80 - 90°F	<b>General: Weather Conditions</b> Clear, Dry, Hot	

## Limitations

General

## ADDITIONAL INFORMATION

**THIS REPORT IS PAID AND PREPARED FOR THE PERSONAL, PRIVATE AND EXCLUSIVE USE BY THE CLIENT NAMED ABOVE. THIS IS A COPYRIGHTED REPORT AND IS NOT VALID WITHOUT THE SIGNED INSPECTION AGREEMENT ATTACHED.**

**THIS REPORT IS NOT TRANSFERABLE FROM THE CLIENT NAMED ABOVE.**

**THE HOME INSPECTOR WILL NOT DETERMINE AND THE REPORT PROVIDED UPON COMPLETION OF THE HOME INSPECTION WILL NOT CONTAIN A DETERMINATION OF WHETHER THE HOME OR COMPONENTS AND/OR SYSTEMS OF THE HOME THAT HAVE BEEN INSPECTED CONFORM TO LOCAL OR STATE BUILDING CODE REQUIREMENTS**

### **SCOPE OF INSPECTION**

A home inspection is a noninvasive, nondestructive examination of the interior and exterior components of a residential real property, including the property's structural components, foundation, and roof, for the purposes of providing a professional written opinion regarding the site aspects and condition of the property and its carports, garages, and reasonably accessible installed components. "Home inspection" includes the examination of the property's heating, cooling, plumbing and electrical systems, including the operational condition of the systems' controls that are normally operated by a property owner.

The purpose of the inspection is to provide the client with information regarding the general condition of the residence at the time of inspection.

### **GENERAL LIMITATIONS**

General limitations:

- (1) The requirements, obligations, and standards in this Part apply to residential buildings with four or fewer dwelling units and their attached and detached garages and carports.
- (2) As part of a particular home inspection, licensees are not required to perform actions or make determinations or recommendations beyond those identified in this Part.
- (3) Home inspections performed by licensees **are not expected to be technically exhaustive**.
- (4) Home inspections performed by licensees are **not required to identify or report on concealed, latent, or intermittent conditions**.

(B) In general, the licensee is not required to inspect:

(1) Underground items including, but not limited to, lawn irrigation systems or underground storage tanks and other underground indications of their presence, whether abandoned or active;

- (2) Items that are not permanently installed;
- (3) Permanently installed decorative items;
- (4) Items in areas that the licensee does not enter, as provided in this Part;
- (5) Detached structures other than garages and carports;
- (6) Common elements and common areas in multi-unit housing, such as condominium properties and cooperative housing;

(7) All occurrence of multiple similar components, provided that the licensee may be required to inspect one such component;

- (8) Outdoor cooking appliances.

(C) In general, the licensee is not required to:

- (1) Ignite or extinguish fires, pilot lights, burners, and other open flames that require manual ignition;
- (2) Dismantle systems and components, except as required by this Part;

(3) **Operate any system or component which is shut down or otherwise inoperable;**

(4) Operate any system or component which does not respond to normal operating controls;

(5) Operate shut-off valves and manual stop valves;

(6) Reset, reprogram, or otherwise adjust devices, systems, and components affected by the home inspection required by this Part;

(7) Probe surfaces that would be damaged or where no deterioration is visible or presumed to exist;

(8) Use specialized tools;

(9) Disturb insulation, move personal items, furniture, equipment, plant life, soil, snow, ice, or debris which obstructs access or visibility;

(10) Enter areas that will, as determined by the licensee, likely be dangerous to the licensee or to other persons or likely to damage the property or its systems and components;

(11) Enter any area or perform any procedure which may damage the property or its components or be dangerous to the licensee or other persons;

(12) Enter under-floor crawlspaces and attics that are not readily accessible;

(13) **Identify and report cosmetic imperfections** that do not affect a component's normally intended function or operation;

(14) Describe or report on systems or components that are not included in this Part and that were not inspected;

(15) Offer warranties or guarantees of any kind;

(16) Offer or perform any engineering services;

(17) Offer or perform any trade or professional service other than home inspection.

(D) In general, the licensee is not required to determine:

(1) Compliance with local codes, ordinances or regulations, the legality of property and its present use, conditions of title, boundaries and easements, and location in earthquake, flood, mining, or any other hazard zones;

(2) Whether any permits were required or obtained for any work performed on the subject property;

(3) Whether grandfathering applies to any condition in a system or component;

(4) Condition of systems and components not readily accessible;

(5) Strength, adequacy, effectiveness, and efficiency of systems and components;

(6) Causes of adverse conditions observed and reported;

(7) Methods, materials, and costs of corrections;

(8) Future conditions, including but not limited to failure of systems and components;

(9) The age of installation of any system, structure, or component of a building;

(10) **The remaining life expectancy of systems and components;**

(11) Whether items, materials, conditions, and components are subject to recall, controversy, litigation, product liability, and other adverse claims and conditions;

(12) Operating costs of systems and components;

(13) Acoustical properties of systems and components;

(14) Presence of plants, animals, and other life forms and substances that may be hazardous or harmful to humans including, but not limited to, wood destroying organisms, molds, and mold-like substances;

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- (15) Presence of environmental hazards including, but not limited to, allergens, toxins, carcinogens, electromagnetic radiation, noise, radioactive substances, and contaminants in building materials, soil, water, and air;
- (16) Effectiveness of permanently installed systems and methods used to control or remove suspected hazardous plants, animals, and environmental hazards;
- (17) Soil conditions relating to geotechnical or hydrologic specialties;
- (18) **Advisability of purchasing of the property being inspected;**
- (19) **Insurability of the property;**
- (20) Marketability or market value of the property;
- (21) Suitability of the property for specialized uses.

This inspection report is made for the sole purpose of assisting the purchaser to determine his and/or her own opinion of feasibility of purchasing the inspected property and does not warrant or guarantee all defects to be found. If you have any questions or are unclear regarding our findings, please call our office prior to the expiration of any time limitations such as option periods.

**THE CLIENT, BY ACCEPTING THIS PROPERTY INSPECTION REPORT OR RELYING UPON IT IN ANY WAY, EXPRESSLY AGREES TO THE SCOPE OF INSPECTION, GENERAL LIMITATIONS AND INSPECTION AGREEMENT.**

This report contains technical information. If you were not present during this inspection, please call the office to arrange for a consultation with your inspector. If you choose not to consult with the inspector, this inspection company cannot be held liable for your understanding or misunderstanding of the reports content.

Recommendations: Any decision to seek repair, further evaluation, or cost estimates for repair of any reported adverse condition observed and described in a home inspection report is reserved to the parties to the contract for sale and purchase of the home. All such repairs, evaluations, and cost estimates must be provided by a qualified and, if required, licensed contractor and may include tests, measurements, and adjustments outside of the scope of a normal home inspection and may lead to the discovery of additional adverse conditions which may have additional repair costs that may not have been obvious to the home inspector. Any individual engaged in construction or a trade related to contracting or making code determinations in New Mexico must be licensed by the appropriate state agency, if required.

[16.66.7.11 NMAC – N, 1/15/2021]

The contents of this report are for the sole use of the client named above and no other person or party may rely on this report for any reason or purpose whatsoever without the prior written consent of the inspector who authored the report. Any person or party who chooses to rely on this report for any reason or purpose whatsoever without the express written consent of the inspector does so at their own risk and by doing so without the prior written consent of the inspector waives any claim of error or deficiency in this report.

**This report is not intended to be used for determining insurability or warrantability of the structure and may not conform to Insurance guidelines for property insurability. *This report is not to be used by or for any property and/or home warranty company, with the exception of EliteMGA through the InterNACHI Warranty Program in partnership with Agave Property Inspections, PLLC.***

All areas of the home that are talked about in the report are oriented from the prospective of looking at the home from the front facing the home.

The digital pictures within this report are a representative sample of inaccessible areas, deficiencies or damages in place and should not be considered to show all of the inaccessible areas, deficiencies or damages observed. There will be inaccessible areas, deficiencies or damages not represented with digital imaging.

Inspector: Eric Wiles

License: NM HIB 2025-0004

NM SOPs: <https://www.rld.nm.gov/wp-content/uploads/2021/07/Home-Inspector-Board-Rules-Effective-January-15-2021.pdf>

## 2: I. STRUCTURAL SYSTEMS

		IN	NI	NP	D
2.1	A. Foundations	X			
2.2	B. Grading, Drainage, Site	X			
2.3	C. Roof Covering Materials	X			X
2.4	D. Roof Structures, Attics, Ventilation, Insulation	X	X		
2.5	E. Walls (Interior and Exterior), Countertops, Cabinets	X			X
2.6	F. Ceilings and Floors	X			
2.7	G. Doors (Interior and Exterior)	X			X
2.8	H. Windows	X			
2.9	I. Stairways (Interior and Exterior)			X	
2.10	J. Fireplaces and Chimneys	X			
2.11	K. Porches, Balconies, Decks, and Carports	X			

IN = Inspected      NI = Not Inspected      NP = Not Present      D = Deficiency

## Information

## A. Foundations: Type of Foundation(s)

## Slab on Grade

## A. Foundations: Foundation Disclaimer

Notice: This inspection is one of first impression and the inspector was not provided with any historical information pertaining to the structural integrity of the inspected real property. This is a limited cursory and visual survey of the accessible general conditions and circumstances present at the time of this inspection. Opinions are based on general observations made without the use of specialized tools or procedures. Therefore, the opinions expressed are one of apparent conditions and not of absolute fact and are only good for the date and time of this inspection. This does not guarantee the future life or failure of the foundation. ***The Inspector is not a structural engineer. This inspection is not an engineering report or evaluation and should not be considered one, either expressed or implied.*** If any cause of concern is noted on this report, or if you want further evaluation, you should consider an evaluation by an engineer of your choice.

## A. Foundations: Functional

Visible components of the foundation found in functional condition. No deficiencies noted unless noted below.

## **C. Roof Covering Materials: Types of Roof Covering      C. Roof Covering Materials: Viewed From**

Asphalt Rolled Roofing, Concrete Walked on Roof  
Tile

### **C. Roof Covering Materials: Note**

When D (**D=Deficient**) is marked, it is recommended that all of the roofing material and its components be fully evaluated by a Qualified Roofing Specialist, prior to the expiration of any time limitations such as option or warranty periods.

**C. Roof Covering Materials: Pictures of Overall View of Roof****D. Roof Structures, Attics, Ventilation, Insulation : Viewed From**

Not Viewed - Vaulted Ceiling

**D. Roof Structures, Attics, Ventilation, Insulation : Approximate Depth Of Insulation**

Unable to determine

**D. Roof Structures, Attics, Ventilation, Insulation : Insulation Type**

Not Visible

**D. Roof Structures, Attics, Ventilation, Insulation : Roof Structure**

Not Visible

**D. Roof Structures, Attics, Ventilation, Insulation : Type of Ventilation**

Roof vents, Soffit Vents, Passive vents



**E. Walls (Interior and Exterior), Countertops, Cabinets :**  
Comments

**E. Walls (Interior and Exterior), Countertops, Cabinets : Exterior Wall Covering Material**  
Stucco Type Product

**E. Walls (Interior and Exterior), Countertops, Cabinets : Wall Structures**  
Wood Framed

**F. Ceilings and Floors: Floor Structures**  
Slab

**F. Ceilings and Floors: Ceiling Structures**  
Wood Framed

**J. Fireplaces and Chimneys: Fireplace Type/Accessories**  
Gas

**J. Fireplaces and Chimneys: Smoke Detector Present In Same Room?**

**J. Fireplaces and Chimneys: CO Detector in Same Room?**

No

**J. Fireplaces and Chimneys: Functional**

All components were found to be performing and in satisfactory condition on the day of the inspection.



**K. Porches, Balconies, Decks, and Carports: Functional**

All components were found to be performing and in satisfactory condition on the day of the inspection.

## Limitations

### C. Roof Covering Materials

#### **SEALANT USE**

It is common for roofers to apply sealant around penetrations and at wall/roof intersections. This sealant will degrade with time. It is important to monitor the condition of the sealant to ensure the areas are leak-proof.

### C. Roof Covering Materials

#### **NOTICE**

Life expectancy of the roofing material is not covered by this property inspection report. If any concerns exist about the roof covering life expectancy or potential for future problems, a roofing specialist should be consulted. The Inspector cannot offer an opinion or warranty as to whether the roof has leaked in the past, leaks now, or may be subject to future leaks, either expressed or implied. The inspection of this roof may show it to be functioning as intended or in need of minor repairs. This inspection does not determine the insurability of the roof. You are strongly encouraged to have your Insurance Company physically inspect the roof, prior to the expiration of any time limitations such as option or warranty periods, to fully evaluate the insurability of the roof

### D. Roof Structures, Attics, Ventilation, Insulation

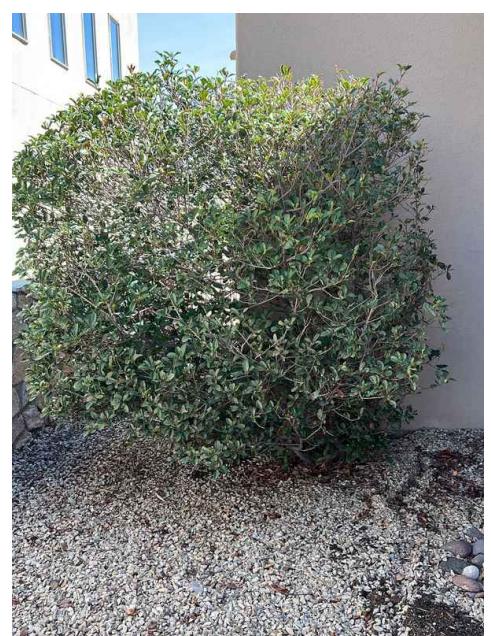
#### **VAULTED CEILINGS**

There is no attic access because there is vaulted ceilings. This is not a defect, just a common construction method.

### E. Walls (Interior and Exterior), Countertops, Cabinets

#### **HEAVY FOLIAGE**

Note: The heavy foliage growing on, over or around the exterior walls of the structure should be trimmed back at least 18-inches. The heavy foliage will limit the inspectors visual observation of the exterior surfaces.



E. Walls (Interior and Exterior), Countertops, Cabinets

## STUCCO NOTICE

There is a stucco type product installed as the exterior veneer / cladding for this structure, which is a common exterior cladding locally. Due to the known general misapplication of residential stucco products, associated deficiencies and water intrusion problems; full evaluation of this product is outside of the scope of a general home inspection.

At this time a general limited visually based survey of the accessible exterior stucco veneer / cladding will be performed without the use of any specialized tools or procedures. The Inspectors findings will be listed below but all possible deficiencies will not be limited to the following listed below in this section. It is recommended that this cladding be closely monitored for signs of damage or deterioration, and to be regularly maintained.

## Observations

2.2.1 B. Grading, Drainage, Site

### MARGINAL GRADING

Marginal site drainage was observed. Proper drainage is needed to help prevent water from standing and/or ponding next to the foundation beam. Corrective measures may be needed if the water stands within 10-feet of the foundation perimeter beam for more than 24-hours.



2.2.2 B. Grading, Drainage, Site

### FLATWORK CRACKS

Flatwork cracks present can be patched or caulked to prevent water intrusion and further movement.



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### 2.3.1 C. Roof Covering Materials

#### **FLASHING - PAINT NEEDED**

The flashing needs to be painted to prevent rust and/or UV damage.



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### 2.3.2 C. Roof Covering Materials

#### **FLASHING - SEAL STORM COLLAR(S)**

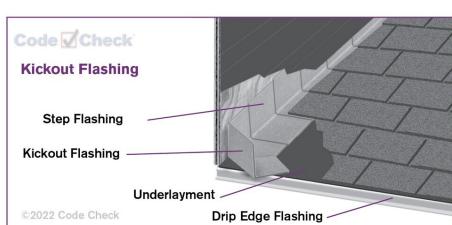
The storm collar(s) at the roof level gas equipment vent pipe(s) need to be properly sealed to help prevent water intrusion into the structure.



### 2.3.3 C. Roof Covering Materials

#### **FLASHING - MISSING KICKOUT**

There was no kickout flashing details observed at the lower bottom edge of the roof line interface and the sidewall that continues past the edge of the roof. The lack of this kickout flashing will allow water to penetrate at these points.



### 2.3.4 C. Roof Covering Materials

#### **SEALANT IMPROVEMENTS**

The inspector noted areas of degraded and cracked sealant. Recommend sealant improvement in these areas to prevent water intrusion.



## 2.3.5 C. Roof Covering Materials

**ANIMAL ACTIVITY**

Signs of animal activity. Recommend pest control as needed to prevent damage to roofing membrane.



## 2.5.1 E. Walls (Interior and Exterior), Countertops, Cabinets

**WOOD NEEDS PAINT****ELECTRICAL PANEL**

Exterior wood type surfaces need a fresh coat of paint to protect from exposure.



## 2.5.2 E. Walls (Interior and Exterior), Countertops, Cabinets

**STUCCO - LACKS SEALANT AROUND OPENINGS****WINDOWS**

Failing or missing sealant was observed at and around the stucco type veneer/cladding and the wall opening interfaces (windows, doors, electrical outlets, plumbing outlets, etc.) This condition should be improved to help prevent water intrusion at these locations. It is recommended to use an industry approved NP1 sealant.



## 2.5.3 E. Walls (Interior and Exterior), Countertops, Cabinets

**STUCCO - CRACKS**

Cracking of the stucco type veneer/cladding was observed. This condition should be further evaluated and corrected as necessary.



## 2.5.4 E. Walls (Interior and Exterior), Countertops, Cabinets

**EXPOSED BUILDING MATERIALS**

## REAR

The inspector noted a gap in between the stucco system in which wood building materials are exposed. Recommend proper sealing this area to prevent pest intrusion.



## 2.6.1 F. Ceilings and Floors

**CEILING - JOINT CRACKS**

Ceiling joint cracks were observed. This is not indicative of major structural movement.



## 2.6.2 F. Ceilings and Floors

**NAIL POPS**

Note: Nail heads were observed to be pushing through the interior finish in one or more locations.

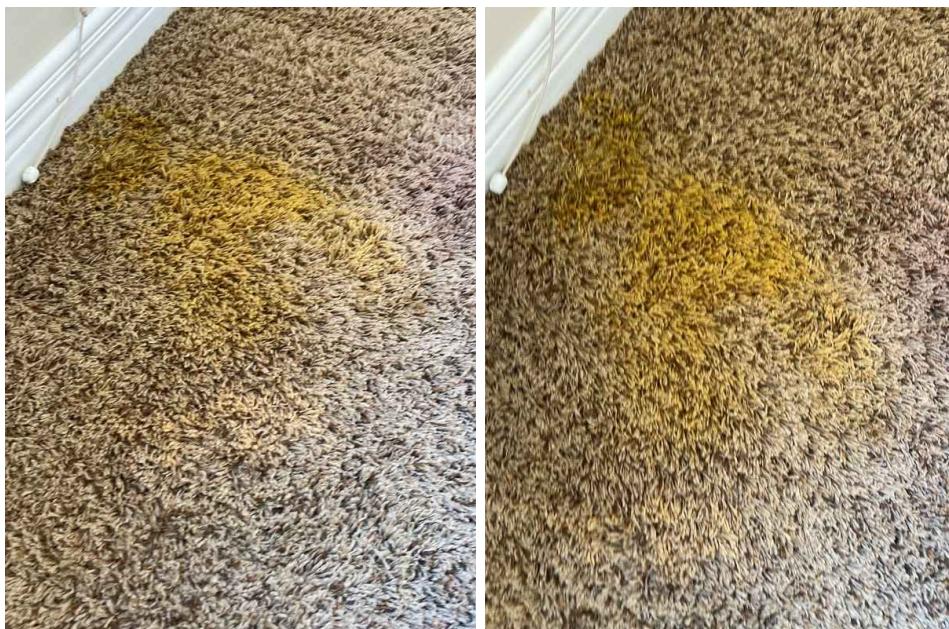


## 2.6.3 F. Ceilings and Floors

**FLOOR - STAINED**

## SECONDARY BEDROOM

The floor covering is stained in one or more locations of the home.



## 2.7.1 G. Doors (Interior and Exterior)

**DOOR - STICKING**

## SECONDARY BEDROOM

The door is sticking.



## 2.7.2 G. Doors (Interior and Exterior)

**DOOR - LOOSE HARDWARE**

## HALLWAY CLOSET

The door hardware is loose.



## 2.7.3 G. Doors (Interior and Exterior)

**DOOR - MISSING STOPS**

## SECONDARY CLOSET

One or more doors is missing a door stop mechanism.



## 2.7.4 G. Doors (Interior and Exterior)

**DOOR - DIFFICULT OPERATION**

This door is difficult to operate. Recommend improvements for better function.



## 2.7.5 G. Doors (Interior and Exterior)

**GARAGE DOOR - LOOSE WEATHER-STRIPPING**

The weather-stripping at the bottom of the overhead garage door is loose and should be re-secured.



## 2.8.1 H. Windows

**SCREEN - DAMAGED**

## REAR

One or more of the window screens were observed to be damaged.



## 2.8.2 H. Windows

**INTERIOR SEALANT IMPROVEMENTS**

Areas of cracked or degraded interior sealant around window frames can be improved.



## 2.10.1 J. Fireplaces and Chimneys

**INTAKE COVER MISSING**

The fireplace secondary air supply intake cover is missing.



### 3: II. ELECTRICAL SYSTEMS

		IN	NI	NP	D
3.1	A. Service Entrance and Panels	X			X
3.2	B. Branch Circuits, Connected Devices, and Fixtures	X			X
3.3	C. Other			X	

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

#### Information

**A. Service Entrance and Panels:**  
Service Entrance  
Underground

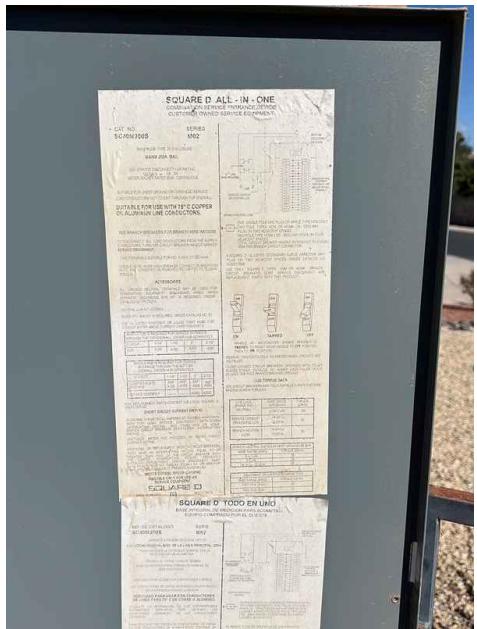
**A. Service Entrance and Panels:**  
Service Voltage  
240/120V

**A. Service Entrance and Panels:**  
**Main Service Panel Location**  
South Exterior Wall

**A. Service Entrance and Panels:**  
**Main Service Panel Amperage**  
200 Amp

**A. Service Entrance and Panels: Main Service Panel Manufacturer**

Square D

**A. Service Entrance and Panels:****Distribution Method**

Non-Metallic Sheath (Romex)

**A. Service Entrance and Panels:****Grounding Method**

Ufer

**A. Service Entrance and Panels:****Sub-Panel Location**

N/A

**A. Service Entrance and Panels:****Sub-Panel Amperage**

N/A

**A. Service Entrance and Panels:**  
**Utility Interactive Systems**

None

**A. Service Entrance and Panels:****Sub-Panel Manufacturer**

N/A

**A. Service Entrance and Panels:****Utility Interactive Systems**

None

**A. Service Entrance and Panels:**  
**Electrical Disconnect Locations**

Main Panel

**B. Branch Circuits, Connected Devices, and Fixtures:** Type of Wiring

Copper

**B. Branch Circuits, Connected Devices, and Fixtures:** Smoke Detectors

absent in some recommended areas

**B. Branch Circuits, Connected Devices, and Fixtures:** Carbon Monoxide Alarms

absent in some recommended areas

**B. Branch Circuits, Connected Devices, and Fixtures:** Arc-Fault Circuit Interrupters

Present

**B. Branch Circuits, Connected Devices, and Fixtures:** Ground Fault Circuit Interrupters

absent in some recommended areas, Present in some recommended areas

**B. Branch Circuits, Connected Devices, and Fixtures:** Smoke Alarms Performing

Smoke and CO alarms were present and sounded when tested. We recommend bi-annual battery changes and monthly testing of these devices.

**C. Other: Comments****Limitations**

## A. Service Entrance and Panels

**NOTICE**

Note: When D (D=Deficient) is marked. It is recommended that this item be fully investigated by a Qualified Licensed Electrician, prior to the expiration of any time limitations such as option or warranty periods, to fully evaluate the integrity of the entire electrical system.

## A. Service Entrance and Panels

**FURTHER EVALUATION RECOMMENDED**

The buyer should have the electrical system checked by a Qualified Licensed Electrician. The observations made to support the rendering of this opinion are listed but not limited to the following below.

Note: Due to the limited nature of a general home inspection, it is possible that additional deficiencies will be discovered by a licensed technician. It is recommended to have the system serviced prior to the expiration of any option/warranty period.

## B. Branch Circuits, Connected Devices, and Fixtures

**SMART DOORBELL**

Note: There is a smart/camera-style doorbell installed. The inspector may not be able to test the operation of the doorbell chime component due to the chime being bypassed by the upgraded doorbell system.

**Observations**

## 3.1.1 A. Service Entrance and Panels

**CONDUCTOR MISSING INSULATION**

A service entrance conductor was noted to be missing insulation. This may contact the panel and become energized. Recommend further evaluation and correction by a licensed electrical contractor.



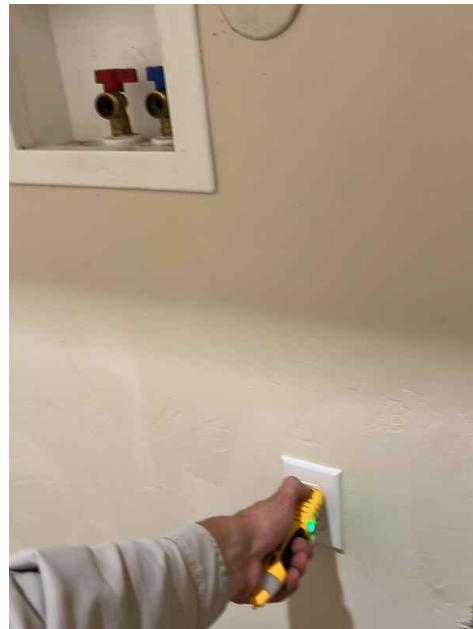
## 3.2.1 B. Branch Circuits, Connected Devices, and Fixtures

**MISSING GFCI**

## LAUNDRY, UNDER KITCHEN SINK

Not all of the receptacles in the wet/damp areas have ground fault circuit interrupter (GFCI) protection. Under current electrical standards all of the exterior/accessory building receptacles, all crawl space receptacles, all kitchen counter top receptacles, all bathroom receptacles, all attic receptacles, all laundry room receptacles, all garage receptacles, dishwasher receptacle, receptacle in cabinet under kitchen sink, any receptacle within 6-feet of the sink, all wet bar area receptacles and pool equipment should have GFCI protection.

A GFCI receptacle can provide protection for other receptacles downstream on the circuit. GFCI protection can be provided by GFCI breakers, blank face devices, or GFCI receptacles



### 3.2.2 B. Branch Circuits, Connected Devices, and Fixtures

#### LOOSE RECEPTACLES

One or more of the receptacles were observed to be loose at the wall mount.





## 3.2.3 B. Branch Circuits, Connected Devices, and Fixtures

**NO POWER AT RECEPTACLE**

## KITCHEN CIRCUIT

One or more of the receptacles appears to be inoperative. This receptacle(s) and circuit should be investigated and corrected as necessary.



## 3.2.4 B. Branch Circuits, Connected Devices, and Fixtures

**RECEPTACLES PAINTED OVER**

Note: One or more of the receptacles have been painted over.



### 3.2.5 B. Branch Circuits, Connected Devices, and Fixtures

#### **LIGHT FIXTURE INOPERATIVE**

One or more of the light fixtures appear to be inoperative. This may be due to a bad bulb or some other unknown condition. This condition should be further evaluated and corrected as necessary.

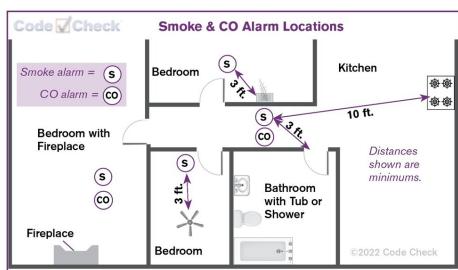


### 3.2.6 B. Branch Circuits, Connected Devices, and Fixtures

#### **MISSING SMOKE/CO ALARM**

OUTSIDE OF PRIMARY BEDROOM, IN THE LIVING ROOM DUE TO FIREPLACE

There are not enough smoke and/or CO alarms located in the home. Under current building standards, there should be a smoke alarm located in each sleeping room, Smoke and CO alarms outside each separate sleeping area in the immediate vicinity of the sleeping rooms, and on each additional story of the dwelling.

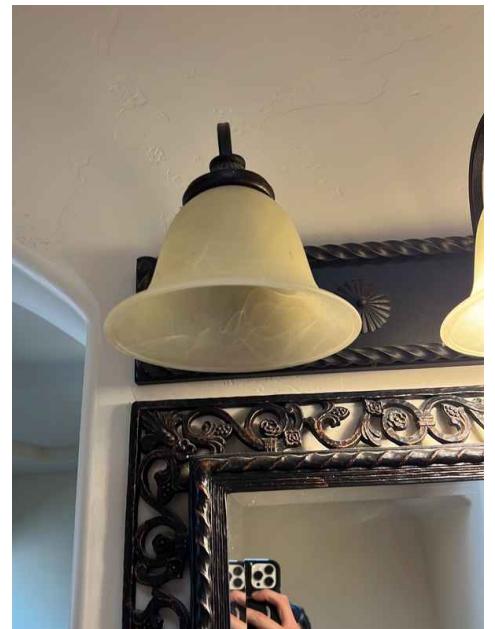


### 3.2.7 B. Branch Circuits, Connected Devices, and Fixtures

#### **MISSING BULB**

##### PRIMARY BATHROOM

A light fixture was missing a lightbulb.



## 4: III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

		IN	NI	NP	D
4.1	A. Heating Equipment	X			
4.2	B. Cooling Equipment	X			
4.3	C. Duct Systems, Chases, and Vents	X			
4.4	D. Other			X	

IN = Inspected

NI = Not Inspected

NP = Not Present

D = Deficiency

### Information

#### A. Heating Equipment: Type of Systems

Forced Hot Air

#### A. Heating Equipment: Energy Sources

Natural Gas

#### A. Heating Equipment: Brand

Rheem

#### A. Heating Equipment: Approximate Year Built

2011

#### A. Heating Equipment: Functional

This component appears to be performing adequately at the time of this inspection. It is achieving an operation, function, or configuration consistent with accepted industry practices for its age.



#### B. Cooling Equipment: Type of Systems

Central Air Conditioner

#### B. Cooling Equipment: Energy Sources

Electric

## **B. Cooling Equipment: Brand**

Rheem



## **B. Cooling Equipment: Approximate Condensing Unit BTU/Tonnage**

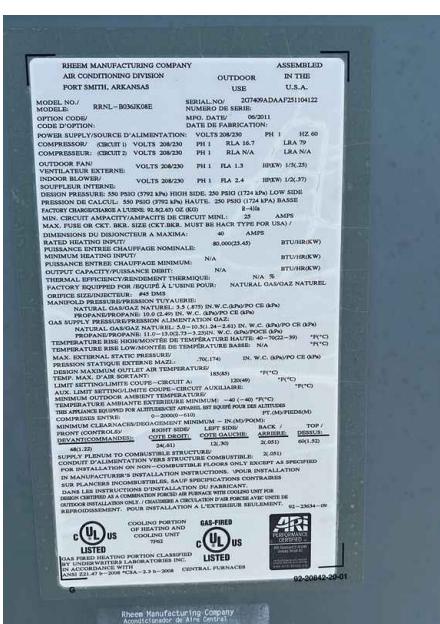
3 TON

## **B. Cooling Equipment: Type of Freon**

R-410A

## B. Cooling Equipment: Approximate Year Built

2011



## B. Cooling Equipment: Functional

This component appears to be performing adequately at the time of this inspection. It is achieving an operation, function, or configuration consistent with accepted industry practices for its age.



## C. Duct Systems, Chases, and Vents: Comments

### C. Duct Systems, Chases, and Vents: Filter location

Ceiling Mounted

### C. Duct Systems, Chases, and Vents: Filter Size

16 x 25 x 1

## C. Duct Systems, Chases, and Vents: Functional

Components were found to be performing and in satisfactory condition on the day of the inspection.



## D. Other: Comments

## Limitations

### A. Heating Equipment

#### NOTE:

When D (D = Deficient) is checked, it is recommended that this item be fully investigated by a Qualified / Licensed HVAC Technician, prior to the expiration of any time limitations such as option or warranty periods, to fully evaluate the integrity of the equipment.

---

## B. Cooling Equipment

### **NOTE**

When D (**D = Deficient**) is checked, it is recommended that this item be fully investigated by a Qualified / Licensed HVAC Technician, prior to the expiration of any time limitations such as option or warranty periods, to fully evaluate the integrity of the equipment.

## **Observations**

---

### 4.2.1 B. Cooling Equipment

#### **LOW VOLTAGE WIRE DAMAGED**

Low-voltage wire was noted to have degraded sheathing.  
Recommend correction to prevent from causing functional issues.



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### 4.3.1 C. Duct Systems, Chases, and Vents

#### **DIRTY RETURN GRILL**

There is visible dust on the return air grill. Recommend cleaning.



## 5: IV. PLUMBING SYSTEMS

		IN	NI	NP	D
5.1	A. Plumbing Supply, Distribution Systems, and Fixtures	X			X
5.2	B. Drains, Wastes, and Vents	X			
5.3	C. Water Heating Equipment	X			X
5.4	D. Hydro-Massage Therapy Equipment	X			
5.5	E. Gas Distribution Systems and Gas Appliances	X			X

IN = Inspected

NI = Not Inspected

NP = Not Present

D = Deficiency

### Information

#### A. Plumbing Supply, Distribution Systems, and Fixtures: Location of Water Meter

Exterior



#### A. Plumbing Supply, Distribution Systems, and Fixtures: Location of Main Water Supply Valve

Garage



#### A. Plumbing Supply, Distribution Systems, and Fixtures: Static Water Pressure Reading

Over 80 psi



#### A. Plumbing Supply, Distribution Systems, and Fixtures: Type of Supply Piping Material

Copper

#### B. Drains, Wastes, and Vents: Type of Drain Piping Material

PVC

#### B. Drains, Wastes, and Vents: Comments

**B. Drains, Wastes, and Vents:****Location of Main Clean-out**

Front Yard

**B. Drains, Wastes, and Vents: Functional**

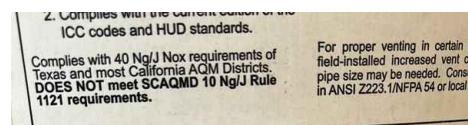
All components were found to be performing and in satisfactory condition on the day of the inspection.

**C. Water Heating Equipment:**  
**Water Heater Equipment Type**

Storage

**C. Water Heating Equipment:**  
**Energy Sources**

Natural Gas

**C. Water Heating Equipment:**  
**Comments****C. Water Heating Equipment:**  
**Approximate Year Built**  
2012**C. Water Heating Equipment:**  
**Capacity**

50 Gallon

**C. Water Heating Equipment:**  
**Brand**

AO Smith

### C. Water Heating Equipment: Functional

This component appears to be performing adequately at the time of this inspection. It is achieving an operation, function, or configuration consistent with accepted industry practices for its age.



### D. Hydro-Massage Therapy Equipment: Functional

This component appears to be performing adequately at the time of this inspection. It is achieving an operation, function, or configuration consistent with accepted industry practices for its age.



**E. Gas Distribution Systems and Gas Appliances: Location of Gas Meter**  
Right Exterior



**E. Gas Distribution Systems and Gas Appliances: Main Gas Shut Off**  
At Meter Location



**E. Gas Distribution Systems and Gas Appliances: Type of Gas Distribution Piping Material**  
Black Steel

**E. Gas Distribution Systems and Gas Appliances: Functional**

## Limitations

A. Plumbing Supply, Distribution Systems, and Fixtures

**NOTICE**

The Inspector has attempted to discover and report conditions requiring further evaluation or repair. However; determining the condition of any component that is not visible and/or accessible, such as plumbing components that are buried, beneath the foundation, located within construction voids or otherwise concealed, and reporting any deficiency that does not appear or become evident during our limited cursory and visual survey is outside the scope of this inspection. **The inspector will not be able to anticipate future events, conditions or changes in performance of any component or system due to changes in use or occupancy. The inspector makes no guarantee or warranty, express or implied, as to future performance of any item, system or component.**

B. Drains, Wastes, and Vents

**NOTICE**

Reporting the condition of drains, wastes and vent piping that is not completely visible and/or accessible or; reporting any defect or deficiency that requires extended use of the system to develop or does not become evident during our limited cursory and visual survey is outside the scope of the inspection. This is a limited cursory and visual survey of the accessible general conditions and circumstances present at the time of this inspection. Opinions are based on general observations made without the use of specialized tools or procedures. Therefore, the opinions expressed are one of apparent conditions and not of absolute fact and are only good for the date and time of this inspection. **The inspector will not be able to anticipate future events, conditions or changes in performance of any component or system due to changes in use or occupancy. The inspector makes no guarantee or warranty, express or implied, as to future performance of any item, system or component**

## C. Water Heating Equipment

**NOTE**

Most water heater manufacturer companies recommend replacing the temperature and pressure relief valve every 2-5 years as part of regular water heater maintenance.

## C. Water Heating Equipment

**ADDITIONAL NOTICE FROM THE INSPECTOR**

It is the opinion of this inspector that although this component may be functioning as intended or in need of minor repairs, you should be aware that this is an older component and the future life expectancy cannot be determined. You can continue to use and service this component until replacement is necessary.

## C. Water Heating Equipment

**FURTHER EVALUATION RECOMMENDED**

The water heater and associated components need to be checked and serviced by a Qualified / Licensed Plumber. The observations made to support the rendering of this opinion are listed but may not be limited to the following below.

Note: Due to the limited nature of a general home inspection, it is possible that additional deficiencies will be discovered by a licensed technician. It is recommended to have the system serviced prior to the expiration of any option/warranty period.

## E. Gas Distribution Systems and Gas Appliances

**NOTICE**

The Inspector will use a combustible gas leak detector on accessible gas lines, joints, unions and connectors and report visible deficiencies found at the time and date of the inspection. The inspector inspects the gas lines from the point they enter the structure and will complete the inspection without digging, damaging property, permanent construction or building finish. When performing the inspection, the inspector will keep in consideration the age of the system and normal wear and tear from ordinary use when rendering opinions. The inspector is not required to and will not inspect sacrificial anode bonding or for its existence. The Inspector is not licensed to and will not perform a pressure test on the gas line system. The Inspector cannot detect gas leaks below the finished grade (underground), construction voids, between the walls or behind fireplace hearths. Propane tanks will not be inspected. If any further concerns exist about possible gas line failure and/or deficiencies or code compliance, we recommend the buyer have the gas system further evaluated by the local controlling gas supplier and/or a qualified licensed master plumber prior to the expiration of any time limitations such as option or warranty periods

A Carbon Monoxide (CO) meter is used at the discretion of the inspector as per the manufacture instructions of the device to assist in confirming the presence or absence of Carbon Monoxide on the day of the inspection only. Carbon Monoxide is a deadly, odorless, and colorless gas produced by the incomplete combustion of fuel-fired appliances or vehicles. This is not a substitute for working CO alarms or for ensuring gas appliances are well maintained. We do not warranty or guarantee against future CO emissions from fuel fired appliances. Fuel burning appliances should be maintained regularly by a professional. Weather conditions may affect if CO is present in the building as draft characteristics can be affected. Should a CO alarm sounds and/or symptoms of CO poisoning occur, the building should be evacuated and 911 called.

**Observations**

## 5.1.1 A. Plumbing Supply, Distribution Systems, and Fixtures

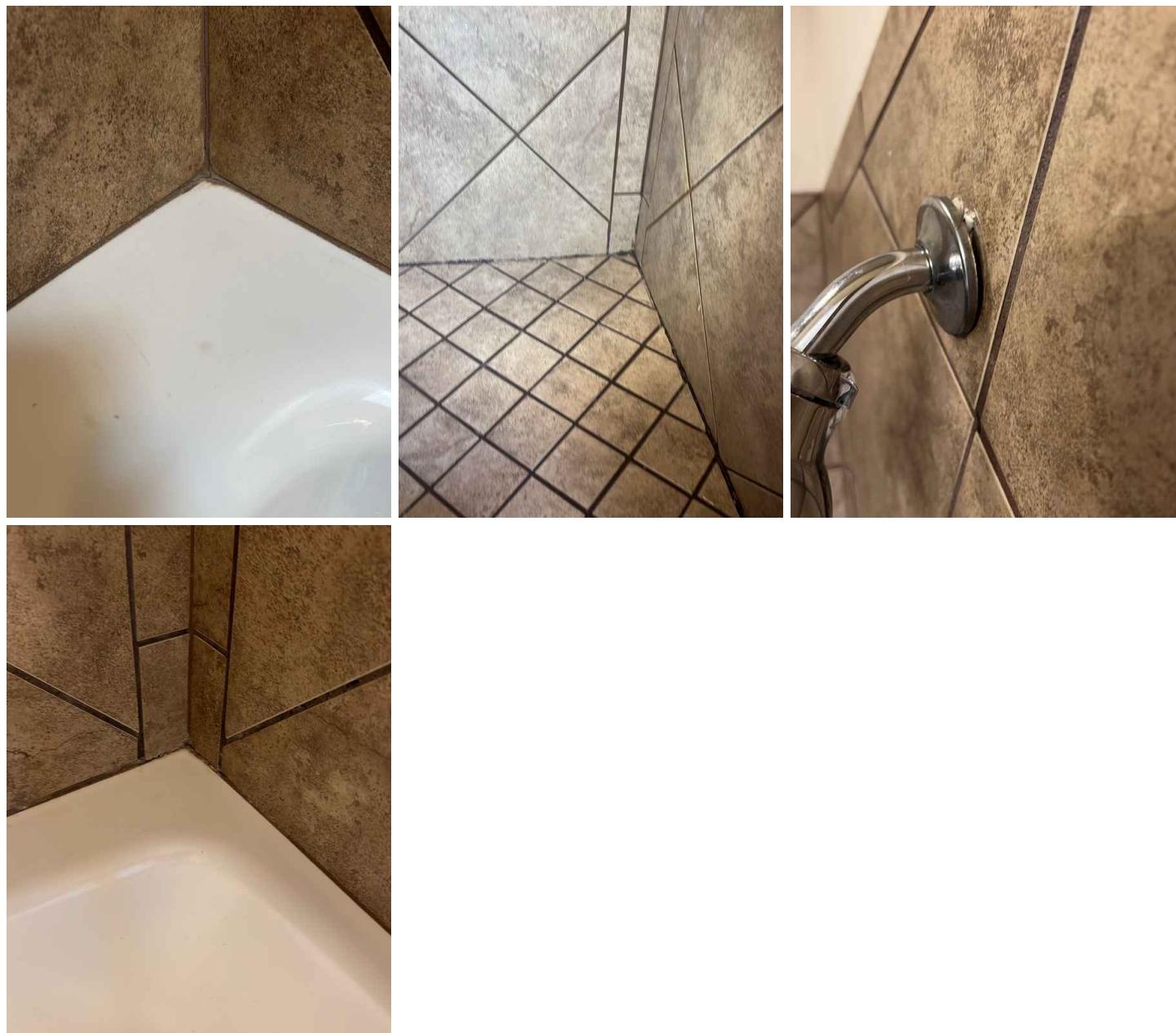
**EXCESSIVE WATER PRESSURE**

The water pressure was observed to be above 80 psi at the time of this inspection. Under current plumbing standards the maximum water pressure should be 80 psi. This condition should be further evaluated and corrected as necessary.

## 5.1.2 A. Plumbing Supply, Distribution Systems, and Fixtures

**BATHTUB - CAULKING IMPROVEMENTS**

Cracked, deteriorated and/or missing bathtub enclosure grout and/or caulking should be repaired or replaced as necessary.



## 5.1.3 A. Plumbing Supply, Distribution Systems, and Fixtures

**SHOWER HEAD DAMAGED**

## PRIMARY SHOWER

The shower head is damaged and does not appear to be functioning properly.



## 5.1.4 A. Plumbing Supply, Distribution Systems, and Fixtures

**SHOWER DOOR MISSING WEATHER-STRIPPING**

## PRIMARY SHOWER

The shower door weatherstripping is damaged/missing.



## 5.1.5 A. Plumbing Supply, Distribution Systems, and Fixtures

**TOILET - WATER SHUT OFF**

## SECONDARY BATHROOM

The water was turned off to the commode at the time of this inspection. This condition should be further evaluated and corrected as necessary.

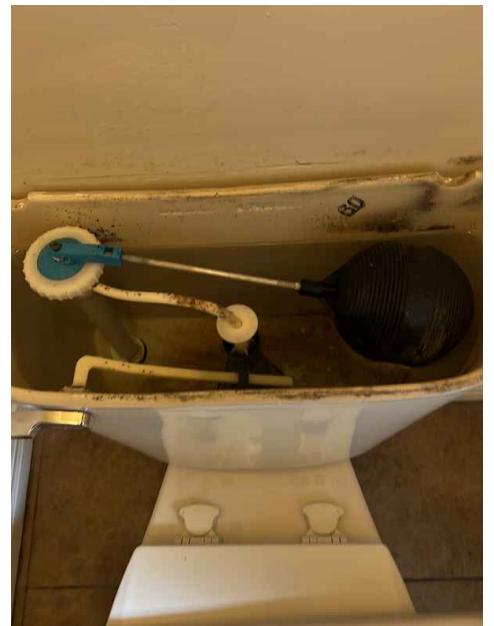


## 5.1.6 A. Plumbing Supply, Distribution Systems, and Fixtures

**TOILET - RUNNING**

## PRIMARY BATHROOM

The toilet was noted to have water running in the tank after the initial fill.



## 5.3.1 C. Water Heating Equipment

**CORROSION CONNECTIONS**

Some corrosion was observed at the water supply connections at the top of the water heater.



### 5.3.2 C. Water Heating Equipment

#### **TPR LEAKING**

The temperature and pressure relief (TPR) valve serving the water heater was observed to be leaking at the outside discharge. This would indicate that the TPR is not functioning properly and should be replaced.

### 5.3.3 C. Water Heating Equipment

#### **TPR - DISCHARGE PIPE UNDERSIZED**

The temperature and pressure relief (TPR) valve discharge pipe is undersized. The TPR discharge pipe should not be reduced.



### 5.3.4 C. Water Heating Equipment

#### **VENT - IMPROPER ATTACHMENT**

The vent pipe is not properly mounted at the top of the water heater. This configuration will emit Carbon Monoxide into the heater compartment, which is a known safety hazard.



#### 5.5.1 E. Gas Distribution Systems and Gas Appliances

### **METER - GAS LEAK**

There was a gas leak detected at the outside service meter. The inspector shut the gas off at the meter for safety and notified the listing agent.

Recommendation

Contact your local utility company



#### 5.5.2 E. Gas Distribution Systems and Gas Appliances

### **CAP UNUSED LINES**

LAUNDRY

All unused gas valve ends should be capped off for safety purposes.



#### 5.5.3 E. Gas Distribution Systems and Gas Appliances

#### **SURFACE RUST EXTERIOR LINE**

Exterior gas line presented with some surface rust and should be painted to properly protect the surface.



## 6: V. APPLIANCES

		IN	NI	NP	D
6.1	A. Dishwashers	X			
6.2	B. Food Waste Disposers	X			X
6.3	C. Range Hood and Exhaust Systems	X			
6.4	D. Ranges, Cooktops, and Ovens	X			X
6.5	E. Microwave Ovens	X			
6.6	F. Mechanical Exhaust Vents and Bathroom Heaters	X			
6.7	G. Garage Door Operators	X			X
6.8	H. Dryer Exhaust Systems	X			
6.9	I. Other	X			

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

### Information

#### A. Dishwashers: Functional

This component appears to be performing adequately at the time of this inspection.



**A. Dishwashers: Manufacturer**

Whirlpool

**B. Food Waste Disposers: Manufacturer**

Badger

**C. Range Hood and Exhaust Systems: Exhaust Hood Type**

Vented Microwave Vent Hood

**C. Range Hood and Exhaust Systems: Manufacturer**

Whirlpool

**C. Range Hood and Exhaust Systems: Functional**

This component appears to be performing adequately at the time of this inspection.

**D. Ranges, Cooktops, and Ovens:**

Range, Cook Top or Oven

Manufacturer

Whirlpool

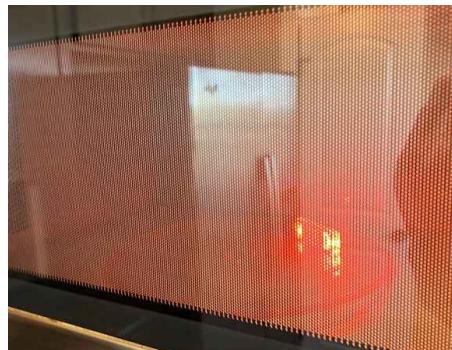


**D. Ranges, Cooktops, and Ovens: Functional****Burners Only**

This component appears to be performing adequately at the time of this inspection.

**E. Microwave Ovens: Comments****E. Microwave Ovens: Functional**

This component appears to be performing adequately at the time of this inspection.

**E. Microwave Ovens:****Manufacturer****Whirlpool****F. Mechanical Exhaust Vents and****Bathroom Heaters: Comments**

**F. Mechanical Exhaust Vents and Bathroom Heaters: Functional**

This component appears to be performing adequately at the time of this inspection.



**G. Garage Door Operators:**  
Manufacturer  
Overhead



**H. Dryer Exhaust Systems:** Dryer  
Vent Location  
Roof



**H. Dryer Exhaust Systems:** Dryer  
Service  
Gas, Electric - 4 Prong

**H. Dryer Exhaust Systems: Functional**

This component appears to be performing adequately at the time of this inspection.



**I. Other: Comments****I. Other: Refrigerator**

Courtesy check of Refrigerator and freezer temperatures. Ice and water function not tested.



## Observations

### 6.2.1 B. Food Waste Disposers

#### **SEIZED UNIT**

The food waste disposer has seized. The unit attempts to respond when the power is switched on but does not begin to operate.

### 6.4.1 D. Ranges, Cooktops, and Ovens

#### **OVEN NOT PERFORMING**

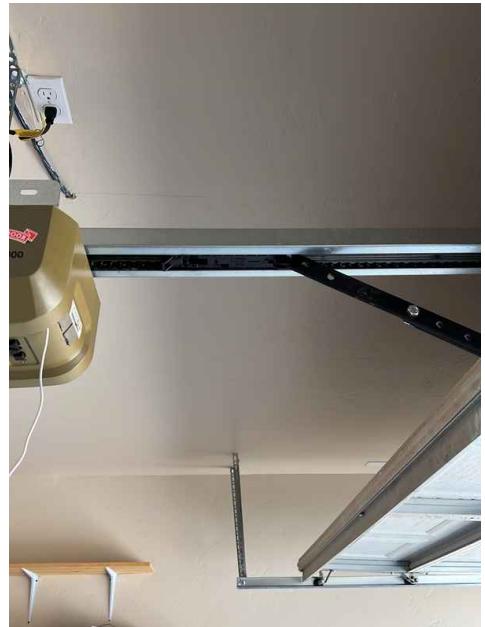
The temperature of the oven is not consistent with the temperature the control is set at.



#### 6.7.1 G. Garage Door Operators

### **EMERGENCY RELEASE MISSING**

The manual release (emergency release) cord is missing at the garage door opener connection.



#### 6.7.2 G. Garage Door Operators

### **RESISTANCE TEST FAILED**

The garage door opener DID NOT automatically reverse under reasonable resistance when closing. Improvement may be as simple as adjusting the sensitivity control on the opener.

#### 6.8.1 H. Dryer Exhaust Systems

### **NO DAMPER**

The dryer duct termination is not equipped with a backdraft damper. This condition does not meet current installation standards and should be corrected as necessary.

## 7: VI. OPTIONAL SYSTEMS

		IN	NI	NP	D
7.1	A. Landscape Irrigation (Sprinkler) Systems		X		
7.2	G. Other	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    D = Deficiency

### Information

#### G. Other: Comments

### Limitations

A. Landscape Irrigation (Sprinkler) Systems

#### NOT INSPECTED

Outside the scope of this inspection.

G. Other

#### Thermal Imaging - Limited Scan

Client has agreed to the limited use of an infrared imaging camera by the Inspector during this inspection. Client understands the Inspector may perform infrared imaging scans of selected surfaces completely at the discretion of the Inspector. Client also understands that infrared imaging does not guarantee locating or discovering possible concealed defects including water damage, structural defects, insulation deficiencies, electrical defects. To capture acceptable infrared thermal images during this inspection, a temperature differential of a minimum 18 degrees Fahrenheit between the interior and exterior of the inspected structure must be obtained. Any temperature difference below this threshold can limit in its findings and may conceal anomalies. Exterior surfaces must be reasonably free of water. Furniture, wall hangings and stored items may limit the infrared scans. Reflective surfaces including glass and foil faced wall insulation will not allow for acceptable infrared imaging of these areas. Roof imaging scans are excluded from this inspection unless Inspector determines acceptable standard roof imaging conditions exist during the inspection and may be beneficial to the Client. Contrary to popular belief, thermal imaging DOES NOT allow an inspector to "see behind walls" as claimed by some. This device only allows comparison of surface temperatures and can show anomalies, which are temperature differences that are significantly dissimilar to the same surrounding material temperature which may be caused by a latent defect. Anomalies noted do not guarantee there is a defect behind the surface. It only means that an industry professional should further evaluate to determine if a defect likely exists. This may require invasive and destructive inspection that is outside the scope of a general home inspection.

### Observations

7.2.1 G. Other

#### Thermal - Anomalies

SECONDARY BATHROOM

A temperature anomaly was noted in a secondary bathroom. This area was tested for moisture with a moisture meter however was found to be dry. It is recommended that this area is closely monitored for any stains.



## 8: FINAL CHECKLIST

		IN	NI	NP	D
8.1	General				

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

### Information

#### General: Range/Oven Off?

Yes



#### General: Windows Locked?

Yes

**General: Doors Locked?**

Yes

**General: Thermostat Back to Original Setting?**

Yes

**General: Lights Turned Off?**

Yes



**General: Keys in Lockbox?**

Yes

**General: Water meter running?**

No

