



Agave Property Inspections PLLC

AGAVE PROPERTY INSPECTIONS, PLLC

(915) 505-0288

admin@agaveinspections.com

<https://www.agaveinspections.com/>



TEXAS RESIDENTIAL INSPECTION

1234 Main Street
El Paso TX 79924

Buyer Name

08/23/2025 9:00AM



Inspector

Eric Wiles

TREC 26410

(915) 505-0288

admin@agaveinspections.com



Agent

Agent Name

555-555-5555

agent@spectora.com



PROPERTY INSPECTION REPORT FORM

Buyer Name <i>Name of Client</i>	08/23/2025 9:00AM <i>Date of Inspection</i>
1234 El Paso TX 79924 <i>Address of Inspected Property</i>	
Eric Wiles <i>Name of Inspector</i>	TREC 26410 <i>TREC License #</i>
<i>Name of Sponsor (if applicable)</i>	<i>TREC License #</i>

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted.

It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Time In: 9:00 A.M.

Time Out: 11:30 A.M.

In Attendance: Buyer

Type of Building: Single Family

Heading: East

Occupancy: Occupied

Temperature: 80 - 90°F

Weather Conditions: Cloudy, Dry

Additional Information:

THIS REPORT IS PAID AND PREPARED FOR THE PERSONAL, PRIVATE AND EXCLUSIVE USE BY THE CLIENT NAMED ABOVE. THIS IS A COPYRIGHTED REPORT AND IS NOT VALID WITHOUT THE SIGNED INSPECTION AGREEMENT ATTACHED.

THIS REPORT IS NOT TRANSFERABLE FROM THE CLIENT NAMED ABOVE.

SCOPE OF INSPECTION

These standards of practice define the minimum levels of inspection required for substantially completed residential improvements to real property up to four dwelling units. **A real estate inspection is not a technically exhaustive survey of the home and its systems. It is a limited visual survey and basic performance evaluation of the systems and components of a building using normal controls and does not require the use of specialized equipment or procedures.** The purpose of the inspection is to provide the client with information regarding the general condition of the residence **at the time of inspection.** The inspector may

provide a higher level of inspection performance than required by these standards of practice and may inspect components and systems in addition to those described by the standards of practice.

GENERAL LIMITATIONS

The inspector is not required to:

(A) inspect:

- (i) items other than those listed within these standards of practice;
- (ii) elevators;
- (iii) detached buildings, decks, docks, fences, or waterfront structures or equipment;
- (iv) **anything buried, hidden, latent, or concealed;**
- (v) sub-surface drainage systems;
- (vi) automated or programmable control systems, automatic shut-off, photoelectric sensors, timers, clocks, metering devices, signal lights, lightning arrestor system, remote controls, security or data distribution systems, solar panels or smart home automation components; or
- (vii) concrete flatwork such as; driveways, sidewalks, walkways, paving stones or patios;

(B) report:

- (i) past repairs that appear to be effective and workmanlike except as specifically required by these standards;
- (ii) cosmetic or aesthetic conditions; or
- (iii) wear and tear from ordinary use;

(C) determine:

- (i) insurability, warrantability, suitability, adequacy, compatibility, capacity, reliability, marketability, operating costs, recalls, counterfeit products, product lawsuits, life expectancy, age, energy efficiency, vapor barriers, thermostatic performance, compliance with any code, listing, testing or protocol authority, utility sources, or manufacturer or regulatory requirements except as specifically required by these standards;
- (ii) the presence or absence of pests, termites, or other wood-destroying insects or organisms;
- (iii) the presence, absence, or risk of asbestos, lead-based paint, **mold**, mildew, corrosive or contaminated drywall Chinese Drywall or any other environmental hazard, environmental pathogen, carcinogen, toxin, mycotoxins, pollutant, fungal presence or activity, or poison;
- (iv) types of wood or preservative treatment and fastener compatibility; or
- (v) the cause or source of a conditions;

(D) anticipate future events or conditions, including but not limited to:

- (i) decay, deterioration, or damage that may occur after the inspection;
 - (ii) deficiencies from abuse, misuse or lack of use;
 - (iii) changes in performance of any component or system due to changes in use or occupancy;
 - (iv) the consequences of the inspection or its effects on current or future buyers and sellers;
 - (v) common household accidents, personal injury, or death;
 - (vi) the presence of water penetrations; or
 - (vii) future performance of any item;
- (E) operate shut-off, safety, stop, pressure or pressure-regulating valves or items requiring the use of codes, keys, combinations, or similar devices;
 - (F) designate conditions as safe;
 - (G) recommend or provide engineering, architectural, appraisal, mitigation, physical surveying, realty, or other specialist services;
 - (H) review historical records, installation instructions, repair plans, cost estimates, disclosure documents, or other reports;
 - (I) verify sizing, efficiency, or adequacy of the ground surface drainage system;
 - (J) verify sizing, efficiency, or adequacy of the gutter and downspout system;
 - (K) operate recirculation or sump pumps;
 - (L) remedy conditions preventing inspection of any item;
 - (M) apply open flame or light a pilot to operate any appliance;
 - (N) turn on decommissioned equipment, systems or utility services; or
 - (O) provide repair cost estimates, recommendations, or re-inspection services.

This inspection report is made for the sole purpose of assisting the purchaser to determine his and/or her own opinion of feasibility of purchasing the inspected property and does not warrant or guarantee all defects to be found. If you have any questions or are unclear regarding our findings, please call our office prior to the expiration of any time limitations such as option periods.

THE CLIENT, BY ACCEPTING THIS PROPERTY INSPECTION REPORT OR RELYING UPON IT IN ANY WAY, EXPRESSLY AGREES TO THE SCOPE OF INSPECTION, GENERAL LIMITATIONS AND INSPECTION AGREEMENT.

This report contains technical information. If you were not present during this inspection, please call the office to arrange for a consultation with your inspector. If you choose not to consult with the inspector, this inspection company cannot be held liable for your understanding or misunderstanding of the reports content.

The contents of this report are for the sole use of the client named above and no other person or party may rely on this report for any reason or purpose whatsoever without the prior written consent of the inspector who authored the report. Any person or party who chooses to rely on this report for any reason or purpose whatsoever without the express written consent of the inspector does so at their own risk and by doing so without the prior written consent of the inspector waives any claim of error or deficiency in this report.

This report is not intended to be used for determining insurability or warrantability of the structure and may not conform to the Texas Department of Insurance guidelines for property insurability. *This report is not to be used by or for any property and/or home warranty company, with the exception of EliteMGA through the InterNACHI Warranty Program in partnership with Agave Property Inspections, PLLC.*

All areas of the home that are talked about in the report are oriented from the prospective of looking at the home from the front facing the home.

The digital pictures within this report are a representative sample of inaccessible areas, deficiencies or damages in place and should not be considered to show all of the inaccessible areas, deficiencies or damages observed. There will be inaccessible areas, deficiencies or damages not represented with digital imaging.

NOTICE: When **D (D=Deficient)** is marked for a particular system, It is recommended that the entire system be further evaluated by a contractor that is qualified and licensed in the trade for the particular system. It is recommended that this occurs prior to the expiration of any time limitations such as option or warranty periods, to fully evaluate the integrity of the entire system. Due to the limited nature of a general home inspection, it is possible that additional deficiencies will be discovered by a licensed contractor.

Occupied home/staged:

The property was occupied or staged at the time of inspection. Areas of the structure may have been blocked from the view of the inspector. Once the furniture and other objects are removed, certain signs may be revealed; however, the inspector inspected the structure as thoroughly as possible to provide you the best information regarding this property.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

I. STRUCTURAL SYSTEMS

☒ ☐ ☐ ☐ A. Foundations

Type of Foundation(s): Slab on Grade

Foundation Performance Opinion: Performing with no major signs of movement or settlement.

Comments:

Foundation Disclaimer :

Notice: This inspection is one of first impression and the inspector was not provided with any historical information pertaining to the structural integrity of the inspected real property. This is a limited cursory and visual survey of the accessible general conditions and circumstances present at the time of this inspection. Opinions are based on general observations made without the use of specialized tools or procedures.

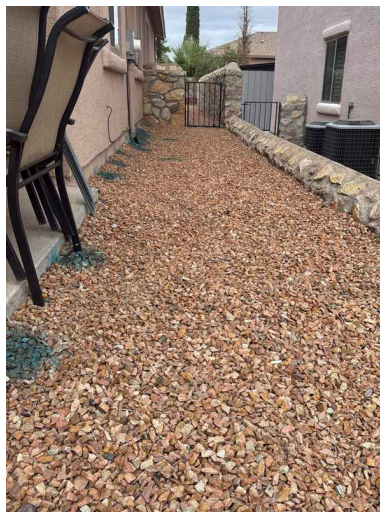
Therefore, the opinions expressed are one of apparent conditions and not of absolute fact and are only good for the date and time of this inspection. The inspection of the foundation may show it to be providing adequate support for the structure or having movement typical to this region, at the time of the inspection.

This does not guarantee the future life or failure of the foundation. ***The Inspector is not a structural engineer. This inspection is not an engineering report or evaluation and should not be considered one, either expressed or implied.*** If any cause of concern is noted on this report, or if you want further evaluation, you should consider an evaluation by an engineer of your choice.

☒ ☐ ☐ ☒ B. Grading and Drainage

Comments:

Pictures of Overall Grading :



1: Negative Grading

Porch

Poor to negative site drainage was observed. Proper drainage is needed to help prevent water from standing and/or pooling next to the foundation beam. Corrective measures may be needed if the water stands within 10-feet of the foundation perimeter beam for more than 24-hours.

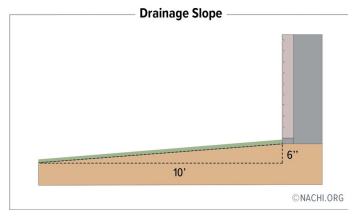
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



2: Sub Surface Drain Clogged

There is an underground and/or surface drainage system in place. It appears that the surface water collector(s) and/or drain(s) are clogged and/or filled with debris. This condition will adversely affect the performance of the drainage system and corrective measures are needed at this time.



☒ ☐ ☐ ☒ C. Roof Covering Materials

Types of Roof Covering: Asphalt Composition Shingles

Viewed From: Walked on Roof

Comments:

Note:

When D (D=Deficient) is marked, it is recommended that all of the roofing material and its components be fully evaluated by a Qualified Roofing Specialist, prior to the expiration of any time limitations such as option or warranty periods.

Overview Pictures of Roof Covering:

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D****Notice:**

Life expectancy of the roofing material is not covered by this property inspection report. If any concerns exist about the roof covering life expectancy or potential for future problems, a roofing specialist should be consulted. The Inspector cannot offer an opinion or warranty as to whether the roof has leaked in the past, leaks now, or may be subject to future leaks, either expressed or implied. The inspection of this roof may show it to be functioning as intended or in need of minor repairs. This inspection does not determine the insurability of the roof. You are strongly encouraged to have your Insurance Company physically inspect the roof, prior to the expiration of any time limitations such as option or warranty periods, to fully evaluate the insurability of the roof

Further Evaluation Recommended :

You are strongly encouraged to have a properly certified roofing contractor to physically inspect the roof, prior to the expiration of any time limitations such as option or warranty periods, to fully evaluate the condition of the roofing material. The observation made to support the rendering of this opinion are listed but not limited to the following below.

Note: Due to the limited nature of a general home inspection, it is possible that additional deficiencies will be discovered by a licensed technician. It is recommended to have the system serviced prior to the expiration of any option/warranty period.

1: Shingles - Exposed Fastener(s)

Exposed fasteners were observed at the shingles in one or more locations.

I=Inspected

NI=Not Inspected

NP=Not Present

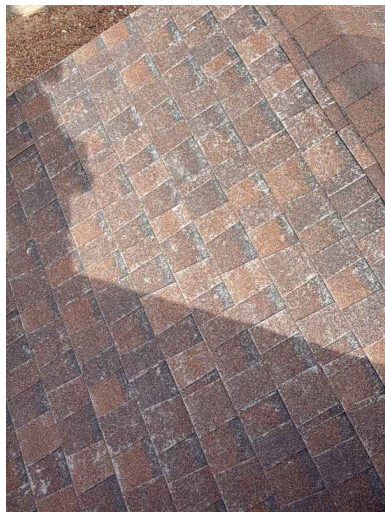
D=Deficient

I	NI	NP	D
---	----	----	---



2: Shingles - Granular Loss

The composition roofing material has experienced significant granular loss in various locations throughout the roof. The roofing material may not perform as intended.



3: Flashing - Damaged

The flashing is damaged and should be repaired or replaced.

I=Inspected

NI=Not Inspected

NP=Not Present

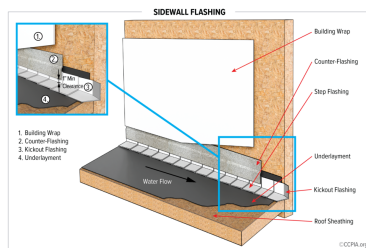
D=Deficient

I	NI	NP	D
---	----	----	---

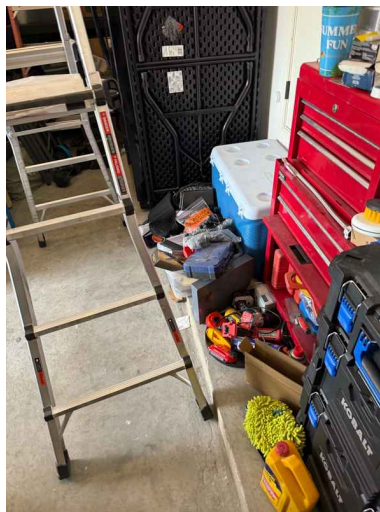


4: Flashing - No Sidewall Flashing

The sidewall area where the roof contacts the wall appears to be missing sidewall flashing. There appears to be water damage to this area.



☒ ☐ ☐ ☒ **D. Roof Structures and Attics**
Viewed From: Attic Hatch



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

Approximate Depth Of Insulation: 8"-10", Batt or Blanket



Comments:

Note:

(Generally recommended depth of attic floor insulation is approximately 10+ inches to achieve a R30 rating.)

Type of Ventilation: Gable Vents, Soffit Vents



1: Fascia Damaged

The fascia board material has some deterioration and/or damage.

I=Inspected

NI=Not Inspected

NP=Not Present

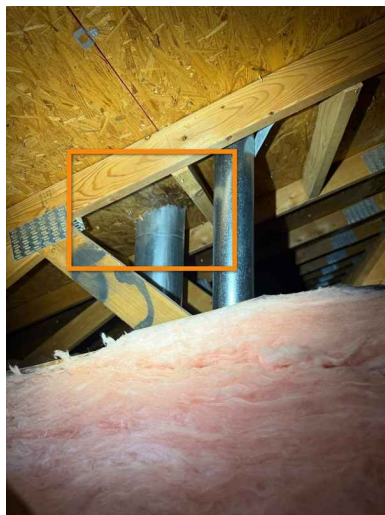
D=Deficient

I	NI	NP	D
---	----	----	---



2: Sheathing - Water Stain(s)

Note: There are visible water stains on the roof sheathing (decking) in one or more locations.



☒ ☐ ☐ ☒ E. Walls (Interior and Exterior)

Comments:

Exterior Wall Covering Material: Stucco Type Product, Brick Veneer

Occupied Home :

Notice: Due to the home being occupied, I was unable to inspect all of the interior surfaces because of window treatments, personalized wall treatments / finishes, personal effects, large, heavy or fragile storage and/or furniture.

Stucco Notice :

There is a stucco type product installed as the exterior veneer / cladding for this structure, which is a common exterior cladding locally. Due to the known general misapplication of residential stucco products, associated deficiencies and water intrusion problems; full evaluation of this product is outside of the scope of a general home inspection.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

At this time a general limited visually based survey of the accessible exterior stucco veneer / cladding will be performed without the use of any specialized tools or procedures. The Inspectors findings will be listed below but all possible deficiencies will not be limited to the following listed below in this section. It is recommended that this cladding be closely monitored for signs of damage or deterioration, and to be regularly maintained.

1: Texture - Damaged

The wall texture has some deterioration and/or damage.



2: Patches/Repairs Present

Note: There is evidence of painting and patching to the walls. This condition could limit the inspectors visual observations and ability to render accurate opinions as to the performance of the structure.



3: Sealant - Exterior Penetrations

The area between the exterior cladding / veneer and all of the wall penetrations / openings need to be properly sealed. Areas such as utility connections, windows, downspouts, hose bibbs, lighting fixtures, receptacles etc.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



4: Sealant - Siding Joints

All joints between two different types of siding should be properly sealed. It is recommended to use elastomeric sealant.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



5: Wood Trim Damaged

Garage

The wood veneer trim has some deterioration or damage.



6: Stucco - Flatwork Clearance

The exterior stucco type veneer/cladding has inadequate clearance from the concrete flatwork. Most manufacturers require a minimum of 2-inches of clearance from all concrete flatwork. It is common to install stucco in this manner locally however is not recommended by industry standards. It is important to ensure that no water pools next to the stucco.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



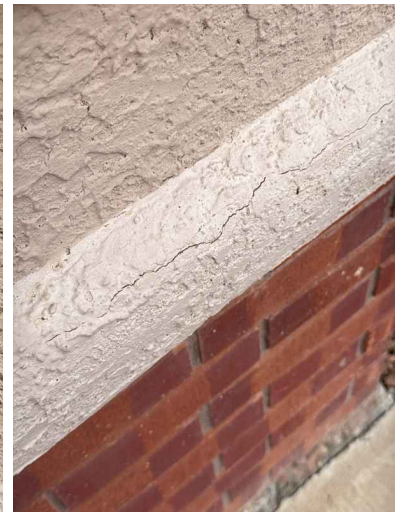
7: Stucco - Damaged

Some deterioration and/or damage to the stucco type veneer/cladding was observed.



8: Stucco - Cracks

Cracking of the stucco type veneer/cladding was observed. This condition should be further evaluated and corrected as necessary.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

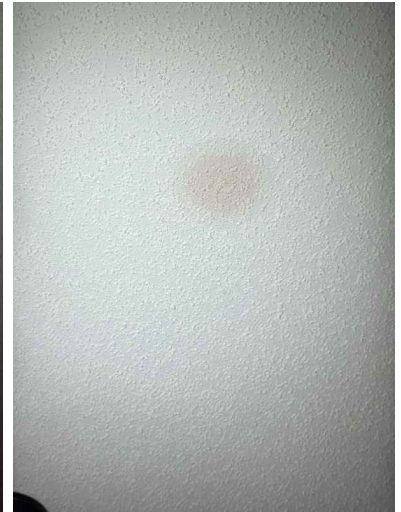
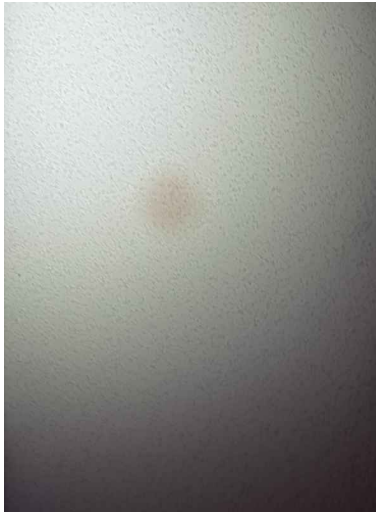
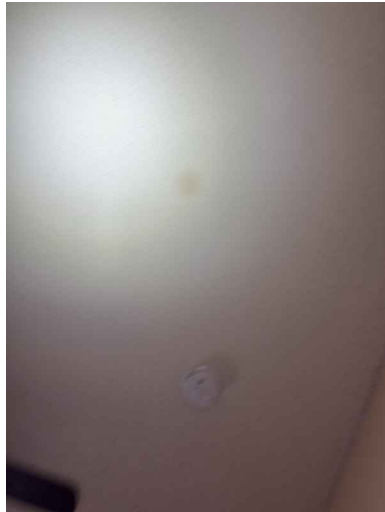


☒ ☐ ☐ ☒ **F. Ceilings and Floors**

Comments:

1: Ceiling - Water Stains

Water stains were observed on the ceiling finish. The cause and remedy should be further evaluated and corrected as necessary.



2: Ceiling - Water Damage

Water stains and water damage was observed on the ceiling finishes. The cause and remedy should be further evaluated and corrected as necessary.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



3: Floor - Stained

Hallway

The floor covering is stained in one or more locations of the home.



☒ ☐ ☐ ☒ **G. Doors (Interior and Exterior)**

Comments:

1: Door - Hardware Missing

Closet Guides

The door hardware is missing.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



2: Door - Hardware not Functioning

The door hardware does not function properly.



3: Door - Out of Square

Some of the interior doors are out of square and swings fully open. Recommend adjusting.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



4: Door - Damaged Finish

The door finish is worn/damaged.



5: Door - Missing Stops

One or more doors is missing a door stop mechanism.

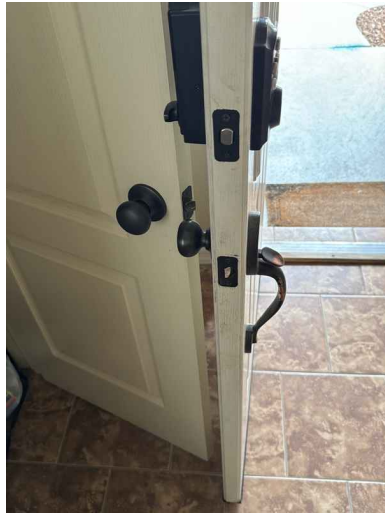
I=Inspected

NI=Not Inspected

NP=Not Present

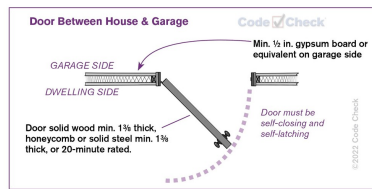
D=Deficient

I NI NP D



6: Garage Entry - Not Self Closing

The garage entry door is not equipped with a self-closing device.



☒ ☐ ☐ ☐ H. Windows

Comments:

Performing :

All components were found to be performing and in satisfactory condition on the day of the inspection.

Inspection Limitations:

Note: I was unable to visually inspect or operate some of the windows due to height, window treatments, personal effects, large, heavy or fragile storage and/or furniture.

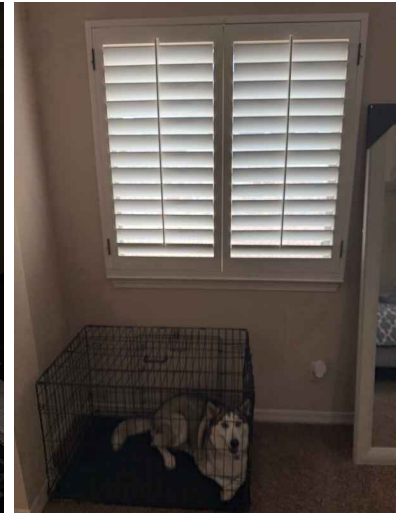
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



1: Difficult Operation of Shutters

One or more of the shutters were difficult to use.



☐ ☐ ☒ ☐ **I. Stairways (Interior and Exterior)**

Comments:

☒ ☐ ☐ ☐ **J. Fireplaces and Chimneys**

Comments:

Performing :

All components were found to be performing and in satisfactory condition on the day of the inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



☒ ☐ ☐ ☐ **K. Porches, Balconies, Decks, and Carports**

Comments:

Performing :

All components were found to be performing and in satisfactory condition on the day of the inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

II. ELECTRICAL SYSTEMS

☒ ☐ ☐ ☒ A. Service Entrance and Panels

Comments:

Service Entrance: Underground

Main Service Panel Location: North Exterior Wall

Main Service Panel Amperage: 125 Amp

Main Service Panel Manufacturer: Seimens



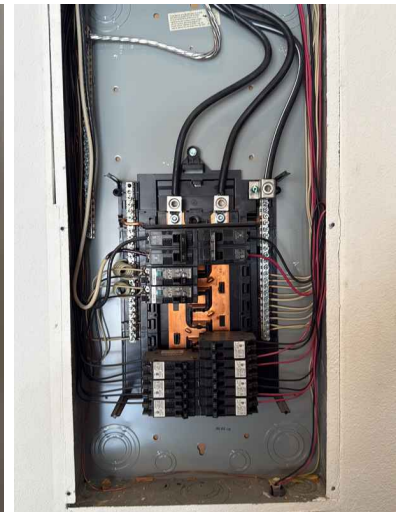
Distribution Method : Non-Metallic Sheath (Romex)

Grounding Method : Driven Rod

Sub-Panel Location: Garage

Sub-Panel Amperage: N/A

Sub-Panel Manufacturer: Seimens



Grounding Connection Not Visible :

Note: The connection to the ground electrode rod is below finished grade. The connection should be made above finished grade or with an approved clamp listed for burial. The connector in place is inaccessible and cannot be determined for proper use at the time of this inspection.

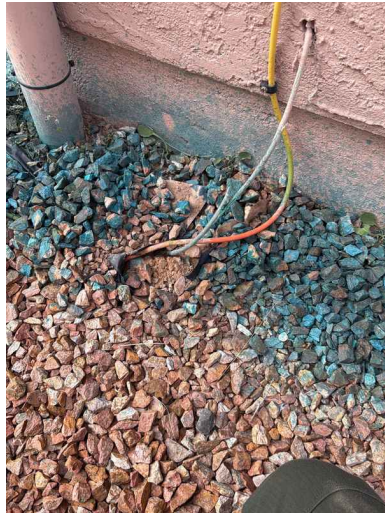
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Notice:

Note: When D (D=Deficient) is marked. It is recommended that this item be fully investigated by a Qualified Licensed Electrician, prior to the expiration of any time limitations such as option or warranty periods, to fully evaluate the integrity of the entire electrical system.

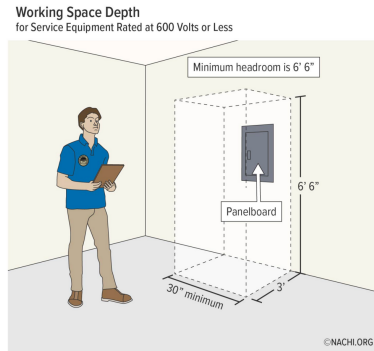
1: Breakers Improper Labeling

The breakers (overcurrent devices) in the electrical panel are not properly labeled.



2: Improper Clearance

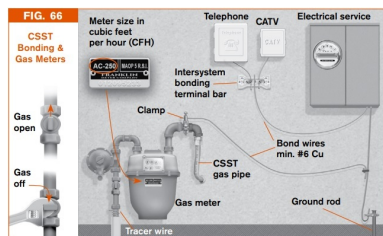
The panel box does not have proper clearance in front of the cabinet. The panel box cover plate (Dead Front) and/or cabinet should be readily accessible and cover easily removable at all times. Under current electrical standards, the accessible workspace around the panel box should be at least 36-inches in depth in front of the cabinet and 30-inches in width or the width of the equipment. Clothes, shelves, cabinets, foliage, etc should not block the workspace in front of the cabinet.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D****3: Dryer No GFCI**

There is no ground fault circuit interrupter type dryer breaker installed at the panel box. Under the current National Electrical Code, all dryer circuits should be GFCI protected.

4: Lack of Gas Pipe Bonding

I was unable to locate the electrical bond connection for the gas piping back to the grounding electrode system. All bond connections should be accessible for inspection, repair or replacement. This condition should be further investigated and corrected if necessary.



☒ ☒ ☐ ☒ **B. Branch Circuits, Connected Devices, and Fixtures**

Type of Wiring: Copper

Comments:

Inaccessible Receptacles :

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

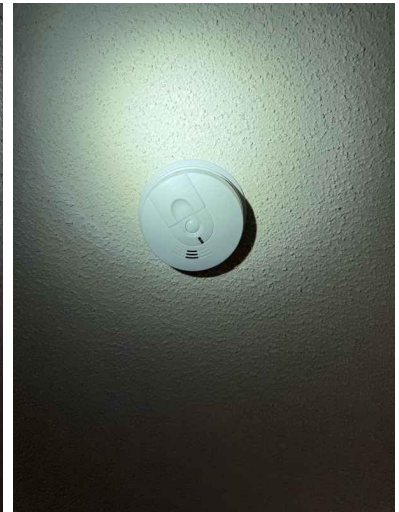
Note: Some of the receptacles in the home were inaccessible and could not be reached for inspection due to height, personal effects, heavy storage, furniture or conditions outside the control of the inspector.



Smoke Alarms Not Tested :

Due to the presence of a security system, the smoke alarms were not tested as this may unnecessarily dispatch the fire department to the alarm. It is recommended to test smoke and carbon monoxide alarms when able.

it is unknown to the inspector if the hallway alarms were dual Smoke and Carbon Monoxide without testing. It is important to ensure these alarms are both smoke and CO.



Exterior/Laundry/Garage GFCI Not Tested:

GFCI for the exterior, garage, and laundry outlets were not tested due to belongings in the garage and laundry that may hinder the ability of the inspector to reset the devices.

AFCI Not Tested:

AFCI not tested due to occupied home. May damage owner belongings.

Exterior motion lights :

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

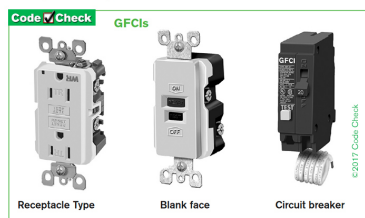
Some exterior lights may be motion and night sensors and therefore function during the day could not be properly assessed.

1: Missing GFCI

Under sink

Not all of the receptacles in the wet/damp areas have ground fault circuit interrupter (GFCI) protection. Under current electrical standards all of the exterior/accessory building receptacles, all crawl space receptacles, all kitchen counter top receptacles, all bathroom receptacles, all attic receptacles, all laundry room receptacles, all garage receptacles, dishwasher receptacle, receptacle in cabinet under kitchen sink, any receptacle within 6-feet of the sink, all wet bar area receptacles and pool equipment should have GFCI protection.

A GFCI receptacle can provide protection for other receptacles downstream on the circuit. GFCI protection can be provided by GFCI breakers, blank face devices, or GFCI receptacles



2: Missing Tamper Resistant Outlets

There are no tamper resistant receptacles installed at the time of inspection. Under current building standards, all receptacles that are less than five and a half feet above the floor should be tamper resistant. This is an "as built" condition, but per TREC standards of practice, we are required to report this condition as deficient. Tamper Resistant outlets are required per the 2008 National Electric Code. You may consider corrective measures for improved safety.

Note: This house may have been constructed prior to requirement of temper-resistant outlets. However, because this property lacked this feature in the required areas, we are required to report this system as deficient because it does not have the most up to date safety systems.

3: Missing AFCI

Not all of the required dwelling unit devices, receptacle and lighting outlets (switches, receptacles and fixtures) are connected to an arc-fault circuit-interrupter (AFCI) circuit device. AFCI devices were first required under the 1999 National Electrical Code and under the 2014 NEC, all living space, kitchen and laundry room devices, receptacle and lighting outlets (switches, receptacles and fixtures) should be connected to an arc-fault circuit interrupter (AFCI) device.

Note: This house may have been constructed prior to requirement of AFCI. However, because this property lacked AFCI in the required areas, we are required to report this system as deficient because it does not have the most up to date safety systems.

4: Loose Receptacles

Dining room

One or more of the receptacles were observed to be loose at the wall mount.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



5: No Power at Receptacle

Living room

One or more of the receptacles appears to be inoperative. This receptacle(s) and circuit should be investigated and corrected as necessary.



6: Ceiling Fan Not Balanced

The ceiling fan is not balanced properly and wobbles when operated.

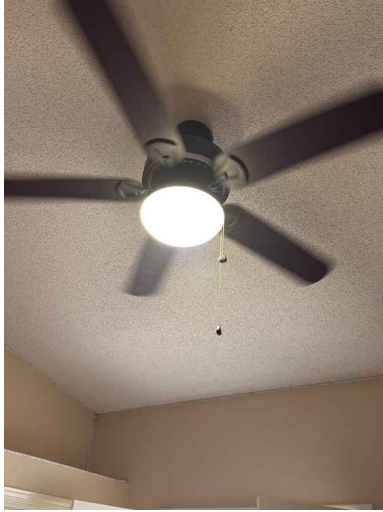
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



☐ ☐ ☒ ☐ **C. Other**
Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

☒ ☐ ☐ ☒ A. Heating Equipment

Type of Systems: Forced Hot Air

Energy Sources: Natural Gas

Comments:

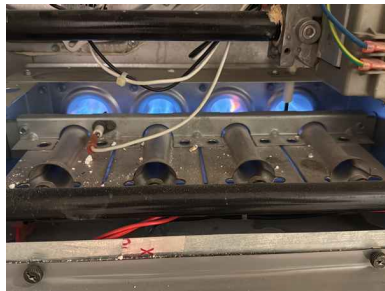
Brand : Tempstar



Approximate Year Built: UnableTo Determine

Performing :

This component appears to be performing adequately at the time of this inspection. It is achieving an operation, function, or configuration consistent with accepted industry practices for its age.



Note: :

When D (D = Deficient) is checked, it is recommended that this item be fully investigated by a Qualified / Licensed HVAC Technician, prior to the expiration of any time limitations such as option or warranty periods, to fully evaluate the integrity of the equipment.

1: Air Filter Dirty

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

The dirty air filter should be replaced.



2: Vent Pipe Improper Installation

The vent pipe is not properly mounted at the top of the gas heater. This condition should be corrected for safety.



☒ ☐ ☐ ☒

B. Cooling Equipment

Type of Systems: Central Air Conditioner



Brand: Undetermined

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Approximate Condensing Unit BTU/Tonnage: 4 TON

Type of Freon: R-410A

Approximate Year Built: 2010

Temperature Differential: 26F



Notice:

Temperature differential readings (Delta-T) are an accepted industry standard of practice for testing the proper operation of the cooling system. Our company policy normal acceptable range is considered approximately **between 15 to 22 degrees °F** total difference (Delta-T) measured between the return air and supply air within close proximity of the related coils of the system being evaluated. Conditions such as but not limited to; excessive humidity, high or low outdoor temperatures or restricted airflow may indicate abnormal operation even through the equipment is functioning basically as designed and occasionally may indicate normal operation in spite of an equipment malfunction. **The inspector will not be able to anticipate future events, conditions or changes in performance of any component or system due to changes in use or occupancy. The inspector makes no guarantee or warranty, express or implied, as to future performance of any item, system or component**

Note:

When D (**D = Deficient**) is checked, it is recommended that this item be fully investigated by a Qualified / Licensed HVAC Technician, prior to the expiration of any time limitations such as option or warranty periods,

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

to fully evaluate the integrity of the equipment.

Further Evaluation Recommended :

The HVAC system and equipment needs to be checked and serviced by a Qualified / Licensed HVAC Technician. The observations made to support the rendering of this opinion are listed but may not be limited to the following below.

Note: Due to the limited nature of a general home inspection, it is possible that additional deficiencies will be discovered by a licensed technician. It is recommended to have the system serviced prior to the expiration of any option/warranty period.

1: Temperature Differential Out of Range

The temperature differential measured between the return air and near supply air is out of the recognized parameters of 15F-22F. The cooling system is not performing properly and servicing is needed.

2: Previous Leaking

Note: Previous water leakage was observed from around the base of the indoor coil housing. This condition should be closely monitored and corrected if necessary.



3: Damaged Condenser Fins

The fins of the outdoor portion of the air conditioning system were observed to be damaged. This condition can reduce the efficiency of the system.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



4: Conduit Loose

The electrical wire conduit has pulled loose at the outside condenser housing and/or service disconnect.



☒ ☐ ☐ ☐ C. Duct Systems, Chases, and Vents

Comments:

Filter location: Wall mounted

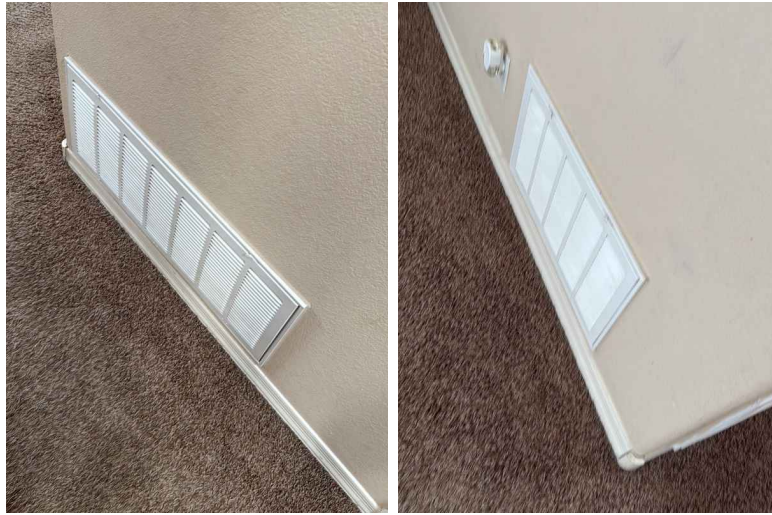
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Filter Size: 12 x 24 x 1, 12 x 36 x 1

☐ ☐ ☒ ☐

D. Other

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

IV. PLUMBING SYSTEMS

☒ ☒ ☐ ☒ A. Plumbing Supply, Distribution Systems, and Fixtures

Location of Water Meter: Curb



Location of Main Water Supply Valve : Not located

Static Water Pressure Reading: Over 80 psi



Type of Supply Piping Material: CPVC

Comments:

Notice :

The Inspector has attempted to discover and report conditions requiring further evaluation or repair. However; determining the condition of any component that is not visible and/or accessible, such as plumbing components that are buried, beneath the foundation, located within construction voids or otherwise concealed, and reporting any deficiency that does not appear or become evident during our limited cursory and visual survey is outside the scope of this inspection. **The inspector will not be able to anticipate future events, conditions or changes in performance of any component or system due to changes in use or occupancy. The inspector makes no guarantee or warranty, express or implied, as to future performance of any item, system or component.**

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

Meter inaccessible:

The inspector could not remove the locking cover to inspect the water meter.

1: Excessive Water Pressure

The water pressure was observed to be above 80 psi at the time of this inspection. Under current plumbing standards the maximum water pressure should be 80 psi. This condition should be further evaluated and corrected as necessary.

2: Exterior Bibb - Handle Leak

Front

The exterior water hose bibb (faucet) is leaking at the handle when operated.



3: Shower - Hot/Cold Reversed

The faucet hot/cold water orientation is reversed.



4: Sink - Corrugated Drain

Kitchen

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

The drain line is made of corrugated material. It is recommended to use smooth wall/PVC type material to prevent blockage.



5: Sink - Previous Leaks

Kitchen

Note: Previous water leaks were observed at and/or around the drain connections under the sink with the bottom of the cabinet noted to be damaged. This would indicate previous problems and should be closely monitored and corrected when necessary.



6: Bathtub/Shower - Caulking Improvements

Cracked, deteriorated and/or missing bathtub enclosure grout and/or caulking should be repaired or replaced as necessary.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



7: Bathtub - Slow Drain

Primary bath

The bathtub was observed to drain slowly, suggesting that an obstruction may exist.



8: Vibration

Primary shower

Unusual vibration from shower components when operating in the hot temperature range. This condition should be further evaluated.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

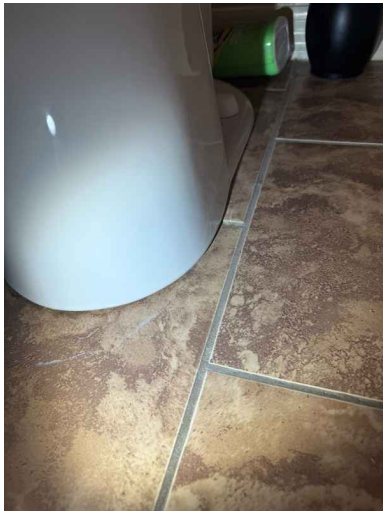
I	NI	NP	D
---	----	----	---



9: Toilet Caulking

Secondary bathroom

Recommend properly caulking the toilet base.



☒ ☐ ☐ ☐

B. Drains, Wastes, and Vents

Type of Drain Piping Material: PVC

Comments:

Location of Main Clean-out: Front Yard

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Performing :

All components were found to be performing and in satisfactory condition on the day of the inspection.

Notice :

Reporting the condition of drains, wastes and vent piping that is not completely visible and/or accessible or; reporting any defect or deficiency that requires extended use of the system to develop or does not become evident during our limited cursory and visual survey is outside the scope of the inspection. This is a limited cursory and visual survey of the accessible general conditions and circumstances present at the time of this inspection. Opinions are based on general observations made without the use of specialized tools or procedures. Therefore, the opinions expressed are one of apparent conditions and not of absolute fact and are only good for the date and time of this inspection. **The inspector will not be able to anticipate future events, conditions or changes in performance of any component or system due to changes in use or occupancy. The inspector makes no guarantee or warranty, express or implied, as to future performance of any item, system or component**

☒ ☐ ☐ ☒ **C. Water Heating Equipment**

Energy Sources: Natural Gas

Capacity: 50 Gallon

Comments:

Brand: AO Smith

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Approximate Year Built: 2023



Performing :

This component appears to be performing adequately at the time of this inspection. It is achieving an operation, function, or configuration consistent with accepted industry practices for its age.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Note:

Most water heater manufacturer companies recommend replacing the temperature and pressure relief valve every 2-5 years as part of regular water heater maintenance.

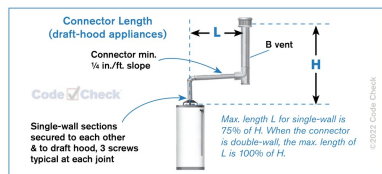
1: No Drain Pan

There is no pan installed under the water heater.



2: Vent - Missing 3 screws

The water heater flue connector should be mechanically attached to the draft hood and joints with a minimum of three sheet metal screws.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



☐ ☐ ☒ ☐ **D. Hydro-Massage Therapy Equipment**

Comments:

☒ ☐ ☐ ☒ **E. Gas Distribution Systems and Gas Appliances**

Location of Gas Meter: Left Exterior



Type of Gas Distribution Piping Material: Black Steel

Comments:

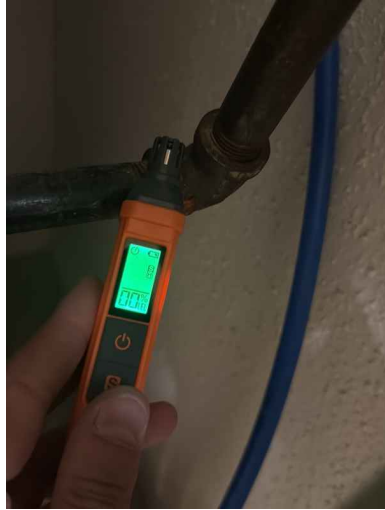
Notice:

The Inspector will use a combustible gas leak detector on accessible gas lines, joints, unions and connectors and report visible deficiencies found at the time and date of the inspection. The inspector inspects the gas lines from the point they enter the structure and will complete the inspection without digging, damaging property, permanent construction or building finish. When performing the inspection, the inspector will keep in consideration the age of the system and normal wear and tear from ordinary use when rendering opinions. The inspector is not required to and will not inspect sacrificial anode bonding or for its existence. The Inspector is not licensed to and will not perform a pressure test on the gas line system. The Inspector cannot detect gas leaks below the finished grade (underground), construction voids, between the walls or behind fireplace hearths. Propane tanks will not be inspected. If any further concerns exist about possible gas line failure and/or deficiencies or code compliance, we recommend the buyer have the gas system further evaluated by the local controlling gas supplier and/or a qualified licensed master plumber prior to the expiration of any time limitations such as option or warranty periods

A Carbon Monoxide (CO) meter is used at the discretion of the inspector as per the manufacture instructions of the device to assist in confirming the presence or absence of Carbon Monoxide on the day of the inspection only. Carbon Monoxide is a deadly, odorless, and colorless gas produced by the incomplete combustion of

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

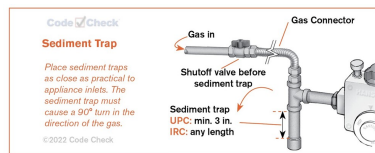
fuel-fired appliances or vehicles. This is not a substitute for working CO alarms or for ensuring gas appliances are well maintained. We do not warranty or guarantee against future CO emissions from fuel fired appliances. Fuel burning appliances should be maintained regularly by a professional. Weather conditions may affect if CO is present in the building as draft characteristics can be affected. Should a CO alarm sounds and/or symptoms of CO poisoning occur, the building should be evacuated and 911 called.



1: No Sediment Trap

Original Findings:

The gas supply line is not equipped with a sediment trap just before the gas appliance connector. This condition does not meet current installation requirements and should be corrected.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

V. APPLIANCES

☒ ☐ ☐ ☒ A. Dishwashers

Comments:

Manufacturer: Frigidaire



Performing :

This component appears to be performing adequately at the time of this inspection.



Additional Notice from the Inspector:

It is the opinion of this inspector that although this component may be functioning as intended or in need of minor repairs, you should be aware that this is an older component and the future life expectancy cannot be determined. You can continue to use and service this component until replacement is necessary.

1: Improper Drain Installation

The dishwasher drain hose is not properly installed to prevent back flow or anti-siphoning. It is recommended that an air gap device or high drain loop be installed in the drain line.

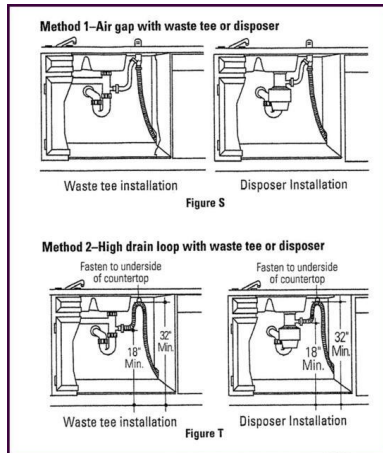
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



☒ ☐ ☐ ☐ **B. Food Waste Disposers**

Comments:

Manufacturer: Badger



Performing :

This component appears to be performing adequately at the time of this inspection.

☒ ☐ ☐ ☐ **C. Range Hood and Exhaust Systems**

Comments:

Exhaust Hood Type: Recirculating Range Hood

Manufacturer: Broan

Performing :

This component appears to be performing adequately at the time of this inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



☒ ☐ ☐ ☒ **D. Ranges, Cooktops, and Ovens**

Comments:

Range, Cook Top or Oven Manufacturer: Frigidaire



Performing :

This component appears to be performing adequately at the time of this inspection.



1: Anti-tip improvements

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

Recommend improvements in better securing the anti-tip device for safety.



2: Loose control board

The control board on the stove was noted to be loose.



☐ ☐ ☒ ☐

E. Microwave Ovens

Comments:

Manufacturer: Not Present

☒ ☐ ☐ ☐

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

Performing :

This component appears to be performing adequately at the time of this inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

☒ ☐ ☐ ☒ **G. Garage Door Operators**

Comments:

Manufacturer: LiftMaster

1: Manual Lock Present

When an automatic garage door opener is in use, the manual lock should be disabled or removed.



2: Light Inoperative

The garage door light was inoperative at the time of inspection.



3: Resistance Test Failed

The garage door opener DID NOT automatically reverse under reasonable resistance when closing. Improvement may be as simple as adjusting the sensitivity control on the opener.

4: Reverse Sensors Too High

The garage door reverse sensors are not properly installed. The garage door reverse sensors should be installed within 6-inches of the garage floor.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



5: Opener Too Low

The garage door opener button should be installed at least 5-feet from the floor of the garage, so as to be out of the reach of children.



- ☒
☐
☐
☒
H. Dryer Exhaust Systems
Comments:
Dryer Vent Location: Roof

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Dryer Service : Electric - 4 Prong, Gas



1: Dirty

The dryer exhaust duct (vent pipe) is dirty and needs to be cleaned.



☐ ☒ ☐ ☐ **I. Other**

Comments:

Washer/Dryer Not Inspected :

The washer and dryer present were not tested for function as this is outside of the scope of inspection.
Unknown if these appliances are included in the Real Estate Transaction

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
----------	-----------	-----------	----------



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

VI. OPTIONAL SYSTEMS

☒ ☐ ☐ ☐ **G. Other**

Comments:

Thermal Imaging - No Anomalies :

Thermal scan revealed no temperature difference anomalies of concern on the day of inspection.

Thermal Imaging - Limited Scan:

Client has agreed to the limited use of an infrared imaging camera by the Inspector during this inspection. Client understands the Inspector may perform infrared imaging scans of selected surfaces completely at the discretion of the Inspector. Client also understands that infrared imaging does not guarantee locating or discovering possible concealed defects including water damage, structural defects, insulation deficiencies, electrical defects. To capture acceptable infrared thermal images during this inspection, a temperature differential of a minimum 18 degrees Fahrenheit between the interior and exterior of the inspected structure must be obtained. Any temperature difference below this threshold can limit in it's findings and may conceal anomalies. Exterior surfaces must be reasonably free of water. Furniture, wall hangings and stored items may limit the infrared scans. Reflective surfaces including glass and foil faced wall insulation will not allow for acceptable infrared imaging of these areas. Roof imaging scans are excluded from this inspection unless Inspector determines acceptable standard roof imaging conditions exist during the inspection and may be beneficial to the Client. Contrary to popular belief, thermal imaging DOES NOT allow an inspector to "see behind walls" as claimed by some. This device only allows comparison of surface temperatures and can show anomalies, which are temperature differences that are significantly dissimilar to the same surrounding material temperature which may be caused by a latent defect. Anomalies noted do not guarantee there is a defect behind the surface. It only means that an industry professional should further evaluate to determine if a defect likely exists. This may require invasive and destructive inspection that is outside the scope of a general home inspection.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

FINAL CHECKLIST

Range/Oven Off?: Yes



Windows Locked?: Yes

Doors Locked?: Yes



Thermostat Back to Original Setting?: Yes



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Lights Turned Off?: Yes

Keys in Lockbox?: N/A

Water Meter Running?: Unable to access meter

Fireplace off? :

Yes

