



Agave Property Inspections PLLC

AGAVE PROPERTY INSPECTIONS, PLLC

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## TEXAS RESIDENTIAL INSPECTION

1234 Main Street  
El Paso TX 79924

Buyer Name  
12/20/2025 9:00AM



Inspector  
**Eric Wiles**  
TREC 26410  
(915) 505-0288  
[admin@agaveinspections.com](mailto:admin@agaveinspections.com)



Agent  
Agent Name  
555-555-5555  
[agent@spectora.com](mailto:agent@spectora.com)



# PROPERTY INSPECTION REPORT FORM

Buyer Name	12/20/2025 9:00AM
Name of Client	Date of Inspection
1234 El Paso TX 79924	
Address of Inspected Property	
Eric Wiles	TREC 26410
Name of Inspector	TREC License #
Name of Sponsor (if applicable)	TREC License #

## PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted.

*It is important* that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

## RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

## RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

**Please Note:** Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

## REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

## **NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS**

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

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### **ADDITIONAL INFORMATION PROVIDED BY INSPECTOR**

*Time In:* 9:00 A.M.

*Time Out:* 12:30 P.M.

*In Attendance:* Buyer (partial)

*Type of Building:* Single Family

*Heading:* East

*Occupancy:* New Construction

*Temperature:* 60 - 70°F

*Weather Conditions:* Clear, Dry

*Additional Information:*

**THIS REPORT IS PAID AND PREPARED FOR THE PERSONAL, PRIVATE AND EXCLUSIVE USE BY THE CLIENT NAMED ABOVE. THIS IS A COPYRIGHTED REPORT AND IS NOT VALID WITHOUT THE SIGNED INSPECTION AGREEMENT ATTACHED.**

**THIS REPORT IS NOT TRANSFERABLE FROM THE CLIENT NAMED ABOVE.**

### **SCOPE OF INSPECTION**

These standards of practice define the minimum levels of inspection required for substantially completed residential improvements to real property up to four dwelling units. A real estate inspection is not a technically exhaustive survey of the home and its systems. It is a limited visual survey and basic performance evaluation of the systems and components of a building using normal controls and does not require the use of specialized equipment or procedures. The purpose of the inspection is to provide the client with information regarding the general condition of the residence at the time of inspection. The inspector may

provide a higher level of inspection performance than required by these standards of practice and may inspect components and systems in addition to those described by the standards of practice.

## **GENERAL LIMITATIONS**

**The inspector is not required to:**

**(A) inspect:**

- (i) items other than those listed within these standards of practice;
- (ii) elevators;
- (iii) detached buildings, decks, docks, fences, or waterfront structures or equipment;
- (iv) **anything buried, hidden, latent, or concealed;**
- (v) sub-surface drainage systems;
- (vi) automated or programmable control systems, automatic shut-off, photoelectric sensors, timers, clocks, metering devices, signal lights, lightning arrestor system, remote controls, security or data distribution systems, solar panels or smart home automation components; or
- (vii) concrete flatwork such as; driveways, sidewalks, walkways, paving stones or patios;

**(B) report:**

- (i) past repairs that appear to be effective and workmanlike except as specifically required by these standards;
- (ii) cosmetic or aesthetic conditions; or
- (iii) wear and tear from ordinary use;

**(C) determine:**

- (i) insurability, warrantability, suitability, adequacy, compatibility, capacity, reliability, marketability, operating costs, recalls, counterfeit products, product lawsuits, life expectancy, age, energy efficiency, vapor barriers, thermostatic performance, compliance with any code, listing, testing or protocol authority, utility sources, or manufacturer or regulatory requirements except as specifically required by these standards;
- (ii) the presence or absence of pests, termites, or other wood-destroying insects or organisms;
- (iii) the presence, absence, or risk of asbestos, lead-based paint, **mold**, mildew, corrosive or contaminated drywall Chinese Drywall or any other environmental hazard, environmental pathogen, carcinogen, toxin, mycotoxins, pollutant, fungal presence or activity, or poison;
- (iv) types of wood or preservative treatment and fastener compatibility; or
- (v) the cause or source of a conditions;

**(D) anticipate future events or conditions, including but not limited to:**

- (i) decay, deterioration, or damage that may occur after the inspection;
- (ii) deficiencies from abuse, misuse or lack of use;
- (iii) changes in performance of any component or system due to changes in use or occupancy;
- (iv) the consequences of the inspection or its effects on current or future buyers and sellers;
- (v) common household accidents, personal injury, or death;
- (vi) the presence of water penetrations; or
- (vii) future performance of any item;

(E) operate shut-off, safety, stop, pressure or pressure-regulating valves or items requiring the use of codes, keys, combinations, or similar devices;

(F) designate conditions as safe;

(G) recommend or provide engineering, architectural, appraisal, mitigation, physical surveying, realty, or other specialist services;

(H) review historical records, installation instructions, repair plans, cost estimates, disclosure documents, or other reports;

(I) verify sizing, efficiency, or adequacy of the ground surface drainage system;

(J) verify sizing, efficiency, or adequacy of the gutter and downspout system;

(K) operate recirculation or sump pumps;

(L) remedy conditions preventing inspection of any item;

(M) apply open flame or light a pilot to operate any appliance;

(N) turn on decommissioned equipment, systems or utility services; or

(O) provide repair cost estimates, recommendations, or re-inspection services.

This inspection report is made for the sole purpose of assisting the purchaser to determine his and/or her own opinion of feasibility of purchasing the inspected property and does not warrant or guarantee all defects to be found. If you have any questions or are unclear regarding our findings, please call our office prior to the expiration of any time limitations such as option periods.

**THE CLIENT, BY ACCEPTING THIS PROPERTY INSPECTION REPORT OR RELYING UPON IT IN ANY WAY, EXPRESSLY AGREES TO THE SCOPE OF INSPECTION, GENERAL LIMITATIONS AND INSPECTION AGREEMENT.**

This report contains technical information. If you were not present during this inspection, please call the office to arrange for a consultation with your inspector. If you choose not to consult with the inspector, this inspection company cannot be held liable for your understanding or misunderstanding of the reports content.

The contents of this report are for the sole use of the client named above and no other person or party may rely on this report for any reason or purpose whatsoever without the prior written consent of the inspector who authored the report. Any person or party who chooses to rely on this report for any reason or purpose whatsoever without the express written consent of the inspector does so at their own risk and by doing so without the prior written consent of the inspector waives any claim of error or deficiency in this report.

This report is not intended to be used for determining insurability or warrantability of the structure and may not conform to the Texas Department of Insurance guidelines for property insurability. [This report is not to be used by or for any property and/or home warranty company, with the exception of EliteMGA through the InterNACHI Warranty Program in partnership with Agave Property Inspections, PLLC.](#)

All areas of the home that are talked about in the report are oriented from the prospective of looking at the home from the front facing the home.

The digital pictures within this report are a representative sample of inaccessible areas, deficiencies or damages in place and should not be considered to show all of the inaccessible areas, deficiencies or damages observed. There will be inaccessible areas, deficiencies or damages not represented with digital imaging.

**NOTICE:** When **D** (**D=Deficient**) is marked for a particular system, It is recommended that the entire system be further evaluated by a contractor that is qualified and licensed in the trade for the particular system. It is recommended that this occurs prior to the expiration of any time limitations such as option or warranty periods, to fully evaluate the integrity of the entire system. Due to the limited nature of a general home inspection, it is possible that additional deficiencies will be discovered by a licensed contractor.

*New Construction:*

**It is HIGHLY RECOMMENDED that ALL observations, deficiencies, and comments in this report are reported and addressed with the builder prior to close. Deficient systems should be fully evaluated by the qualified and licensed tradesmen for that system.**

**This is a performance-based inspection. Cosmetic issues are best addressed by the buyer at a blue-tape walk through. The inspector may, at his/her discretion, comment on cosmetic conditions as a courtesy however cosmetic conditions are otherwise excluded.**

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**I=Inspected****NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

## I. STRUCTURAL SYSTEMS

**A. Foundations**

*Type of Foundation(s):* Slab on Grade

*Foundation Performance Opinion:* Performing with no major signs of movement or settlement.

*Comments:*

*Foundation Disclaimer :*

Notice: This inspection is one of first impression and the inspector was not provided with any historical information pertaining to the structural integrity of the inspected real property. This is a limited cursory and visual survey of the accessible general conditions and circumstances present at the time of this inspection. Opinions are based on general observations made without the use of specialized tools or procedures.

Therefore, the opinions expressed are one of apparent conditions and not of absolute fact and are only good for the date and time of this inspection. The inspection of the foundation may show it to be providing adequate support for the structure or having movement typical to this region, at the time of the inspection.

This does not guarantee the future life or failure of the foundation. ***The Inspector is not a structural engineer. This inspection is not an engineering report or evaluation and should not be considered one, either expressed or implied.*** If any cause of concern is noted on this report, or if you want further evaluation, you should consider an evaluation by an engineer of your choice.

**B. Grading and Drainage**

*Comments:*

*Not Landscaped :*

This property is not yet landscaped or is partially landscaped. It is recommended that once the property is landscaped and/or flatwork is installed, proper slope is maintained in order to prevent water from accumulating near the foundation perimeter beam.

### 1: Marginal Grading

Marginal site drainage was observed. Proper drainage is needed to help prevent water from standing and/or ponding next to the foundation beam. Corrective measures may be needed if the water stands within 10-feet of the foundation perimeter beam for more than 24-hours.



### 2: Erosion

Ground erosion was observed next to the driveway. Add fill dirt as needed.

**I=Inspected****NI=Not Inspected****NP=Not Present****D=Deficient**

I	NI	NP	D
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**3: Flatwork Damaged**

Front Garage

Damage noted to exterior flatwork.

   **C. Roof Covering Materials***Types of Roof Covering:* Asphalt Composition Shingles, Rolled Roofing Material*Viewed From:* Walked on Roof*Comments:**Note:*

When D (**D=Deficient**) is marked, it is recommended that all of the roofing material and its components be fully evaluated by a Qualified Roofing Specialist, prior to the expiration of any time limitations such as option or warranty periods.

*Overview Pictures of Roof Covering:*

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



*NOTICE: Sealant Application:*

Local roofing practices commonly include the application of sealant at flashing areas. The presence of roof sealant limits the inspector's ability to confirm the proper installation or presence of underlying flashing materials. Sealant should not be relied upon as the primary means of waterproofing or sealing roof penetrations or transitions. Evaluation by a qualified roofing contractor is recommended if concerns exist regarding the adequacy or longevity of these sealed areas.

*Notice:*

Life expectancy of the roofing material is not covered by this property inspection report. If any concerns exist about the roof covering life expectancy or potential for future problems, a roofing specialist should be consulted. The Inspector cannot offer an opinion or warranty as to whether the roof has leaked in the past, leaks now, or may be subject to future leaks, either expressed or implied. The inspection of this roof may show it to be functioning as intended or in need of minor repairs. This inspection does not determine the insurability of the roof. You are strongly encouraged to have your Insurance Company physically inspect the roof, prior to the expiration of any time limitations such as option or warranty periods, to fully evaluate the insurability of the roof.

**1: Shingles - Lifting**

**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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One or more of the shingles were observed to be lifting.

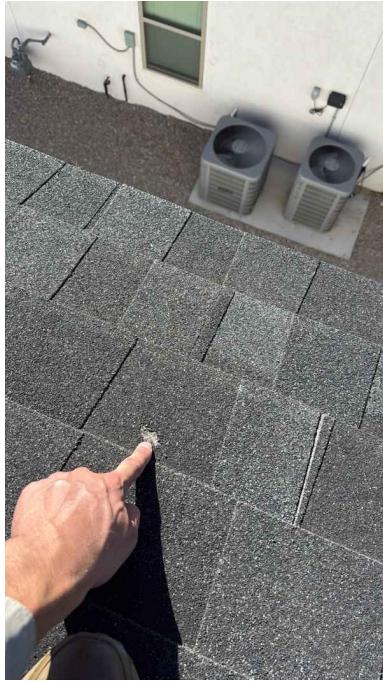


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## **2: Shingles - Damaged**

Various Locations

Damaged shingles were observed.



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**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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### **3: Previous Repairs Noted**

Note: Prior repairs to the roofing material and/or flashing were observed in one or more locations.



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### **4: Vent - Damaged**

The vent is damaged and should be repaired or replaced.

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<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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#### **5: Flashing - Seal Storm Collar(s)**

2nd Story Furnace

The storm collar(s) at the roof level gas equipment vent pipe(s) need to be properly sealed to help prevent water intrusion into the structure.



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#### **6: Contamination of Roof Covering**

**I=Inspected****NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Contamination of roof covering with stucco and/or paint.



**D. Roof Structures and Attics**

*Viewed From: Attic (Over Garage Only)*



*Approximate Depth Of Insulation:* Unable to determine

*Comments:*

*Type of Ventilation:* Roof vents

*Vaulted Ceilings :*

There is no attic access over the living area because there is vaulted ceilings. This is not a defect, just a common construction method.

*Attic – Limitation:*

Inspection of the attic was limited as some areas were inaccessible due to obstructions, lack of clearance, or absence of a safe access point. These areas could not be entered or visually inspected. Conditions in inaccessible portions of the attic are unknown and were not evaluated. Concealed defects may exist in these areas.

**1: Fascia Damaged**

The fascia board material has some deterioration and/or damage.

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<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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## **2: Improper Fire Separation**

The attic access hatch does not appear to meet fire separation requirements between the garage and the attic. The hatch material and/or installation may not provide the necessary fire resistance typically required to prevent the spread of fire from the garage into the attic space. Recommend evaluation and correction by a qualified contractor to ensure compliance with current fire safety standards.



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<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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### **3: Unfinished areas**

Eaves

Unfinished areas noted under the eaves.



### **4: Brace pulling**

A wood brace was noted to be separated.

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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#### **5: Damaged Gusset**

Garage Gable

A gusset plate connector appeared to be damaged.



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#### **6: Venting with Spray Foam**

Spray foam insulation was observed. This type of installation typically creates an unvented roof assembly, as traditional attic ventilation is not required or may be intentionally sealed. The presence of both spray foam insulation and roof venting may indicate a mixed or incomplete system, which can lead to moisture or temperature control issues. Recommend evaluation by a qualified insulation or roofing contractor to verify that the attic assembly is properly designed and performing as intended.

**I=Inspected****NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

**E. Walls (Interior and Exterior)**

*Comments:*

*Exterior Wall Covering Material:* Stucco Type Product, Adhered Stone

*Stucco Notice:*

Stucco is a common exterior wall cladding in this region and is generally well-suited to our dry climate. However, stucco is often misapplied or installed without all recommended details, which can lead to concealed deficiencies not visible during a non-invasive home inspection. This inspection is limited to the observable and accessible surfaces of the stucco at the time of the inspection. Evaluation is based on visible performance and readily identifiable deficiencies only. Flashing details with stucco or often latent and their installation cannot be confirmed. No destructive or moisture testing was performed. Hidden conditions behind the stucco, such as improper installation, lack of drainage, or concealed moisture intrusion, cannot be ruled out. The Inspectors findings will be listed below but all possible deficiencies will not be limited to the following listed below in this section. This inspection cannot determine future performance of the stucco. It is recommended that this cladding be closely monitored for signs of damage or deterioration, and to be regularly maintained.

**1: Sealant - Hose Bibbs**

The area between the exterior veneer and the exterior water hose bibbs (faucets) need to be properly sealed.



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<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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## **2: Flashing - HVAC Lines**

The area between the exterior veneer and the outside HVAC condenser/coils refrigerant is missing a flashing hood.



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## **3: Stucco - Lacks Expansion Joints**

One or more doors/windows are not properly installed with expansion joints. This condition could lead to cracking/water intrusion through the stucco at this location. This condition should be further evaluated and corrected as necessary.

**I=Inspected****NI=Not Inspected****NP=Not Present****D=Deficient**

I	NI	NP	D
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#### **4: Stucco - Lacks Sealant around Openings**

Failing or missing sealant was observed at and around the stucco type veneer/cladding and the wall opening interfaces (windows, doors, electrical outlets, plumbing outlets, etc.) This condition should be improved to help prevent water intrusion at these locations. It is recommended to use an industry approved NP1 sealant.



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<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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#### **5: Stucco Improvements**

One or more areas of improvements in the stucco application are recommended.



#### **6: Stucco - Cracks**

Cracking of the stucco type veneer/cladding was observed. This condition should be further evaluated and corrected as necessary.

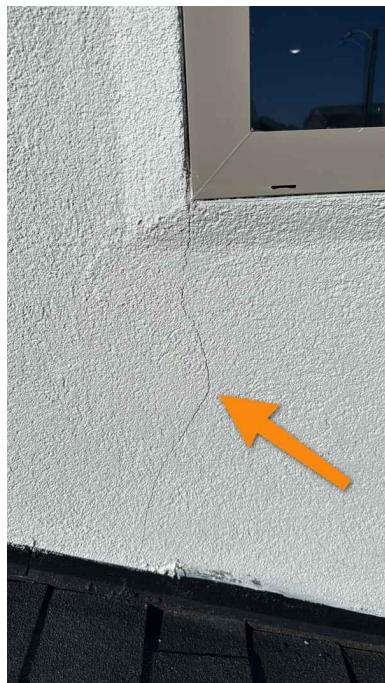
**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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#### **7: Fire Separation - Improper Cover**

PEX Manifold

Openings or penetrations in walls are missing proper covers or provisions that meet fire separation requirements between the garage and living area.

**I=Inspected**

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**D=Deficient**

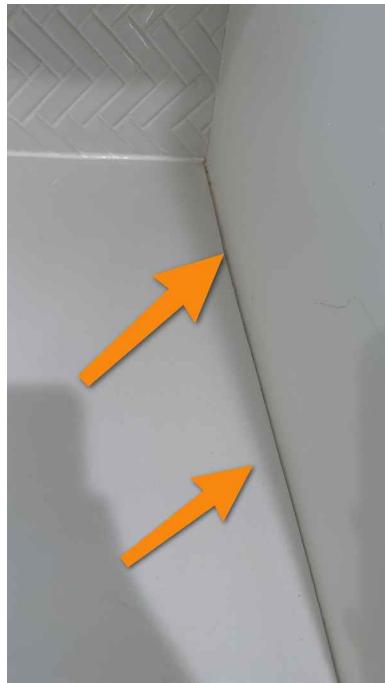
<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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#### **8: Kitchen - Caulking**

Recommend application of caulk as needed at transitions.



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#### **9: Missing Gate**

Note: The backyard entrances are missing a gate.

**I=Inspected**

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**NP=Not Present**

**D=Deficient**

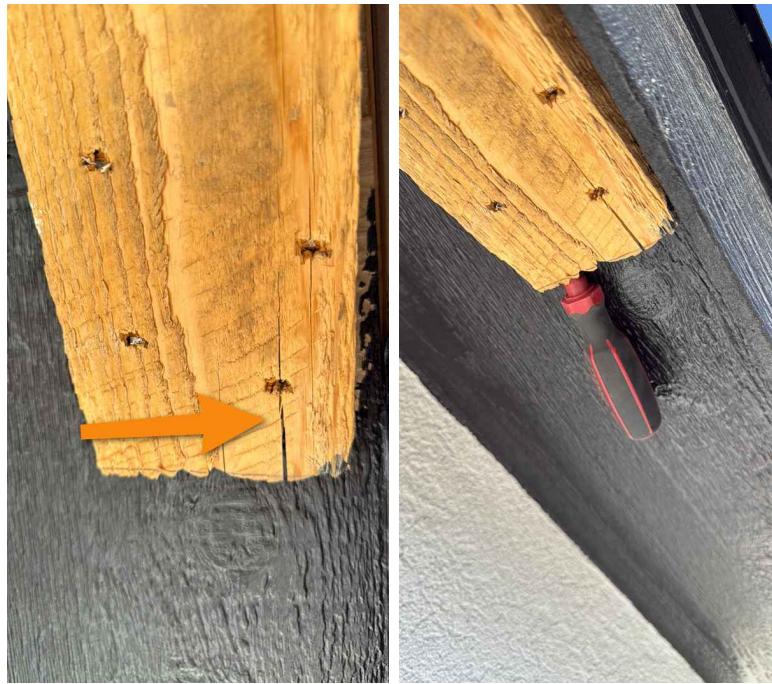
<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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#### **10: Beam Fastening**

A decorative beam was observed that does not appear to be securely fastened. The beam may be unstable or pose a safety risk if it becomes loose. Recommend evaluation and secure attachment by a qualified contractor to ensure stability and safety.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

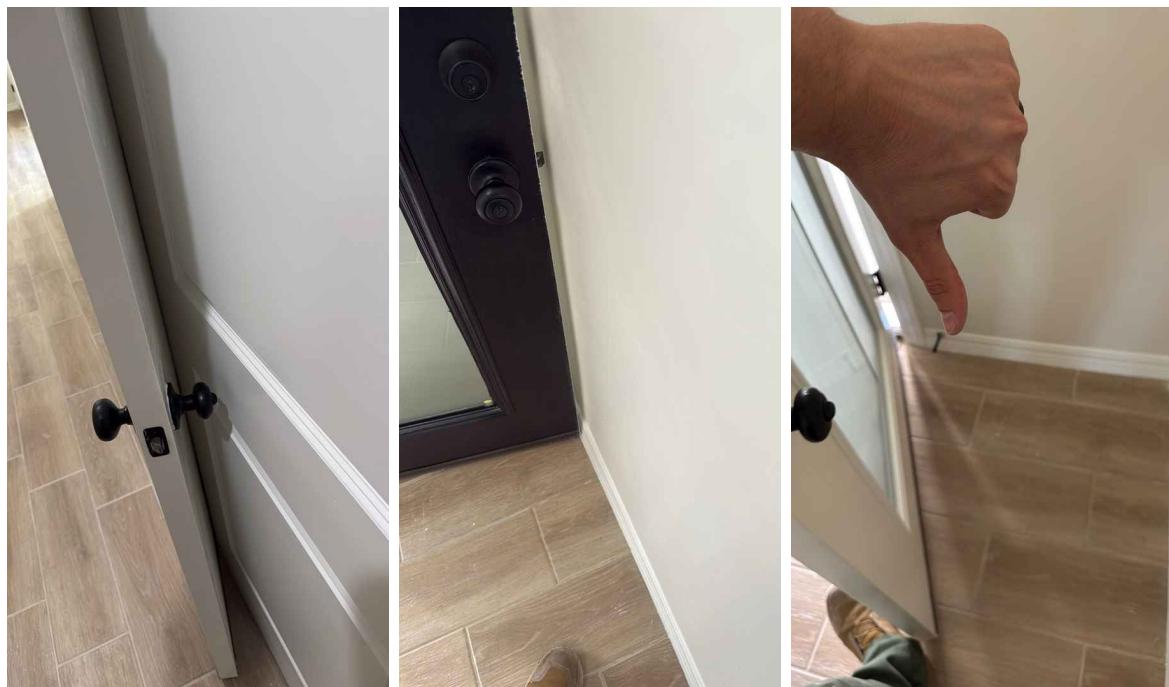
    **F. Ceilings and Floors***Comments:**Performing:*

All components were found to be performing and in satisfactory condition on the day of the inspection.

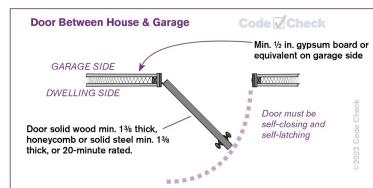
    **G. Doors (Interior and Exterior)***Comments:***1: Door - Missing Stops**

Front Door, Garage Entry

One or more doors is missing or has an ineffective a door stop mechanism.

**2: Garage Storage Door - Fire Separation**

A door was observed providing access from the garage to a storage area located beneath the stairs. Doors between the garage and any enclosed space should be equipped with a solid or fire-rated construction (minimum 1 3/8" solid wood or steel, or a 20-minute fire-rated door) and a self-closing device to help maintain the required fire separation. The door installed at this location does not appear to meet these requirements. Recommend installation of a properly rated, self-closing door assembly by a qualified contractor for improved fire safety.



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**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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**3: Garage Entry - Self Closing Not Functional**

Two-Car Garage

The garage entry door self closing hinges are not functioning properly.



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**4: Garage Door - Not Balanced**

Two-Car Garage

**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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The overhead garage door is not balanced properly and should be tuned-up and/or adjusted as necessary.

**5: Door - Paint Improvements**

Front Door

Recommend paint improvements for the door as needed.



**H. Windows**

*Comments:*

**1: Obstructed Weepholes**

2nd Story

Weepholes are blocked, preventing proper moisture drainage.

**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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**2: Remove Stickers**

2nd story bath

Remove stickers on window.



**I. Stairways (Interior and Exterior)**

*Comments:*

**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

**I NI NP D**

*Performing :*

All components were found to be performing and in satisfactory condition on the day of the inspection.



**J. Fireplaces and Chimneys**

*Comments:*

**K. Porches, Balconies, Decks, and Carports**

*Comments:*

*Performing :*

All components were found to be performing and in satisfactory condition on the day of the inspection.

I	NI	NP	D
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## II. ELECTRICAL SYSTEMS

**A. Service Entrance and Panels**

*Comments:*

*Service Entrance:* Underground

*Main Service Panel Location:* South Exterior Wall

*Main Service Panel Amperage:* 200 Amp

*Main Service Panel Manufacturer:* Square D



*Distribution Method :* Non-Metallic Sheath (Romex)

*Grounding Method :* Driven Rod, Ufer

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

*Sub-Panel Location: Garage**Sub-Panel Amperage: 100 Amp**Sub-Panel Manufacturer: Square D*

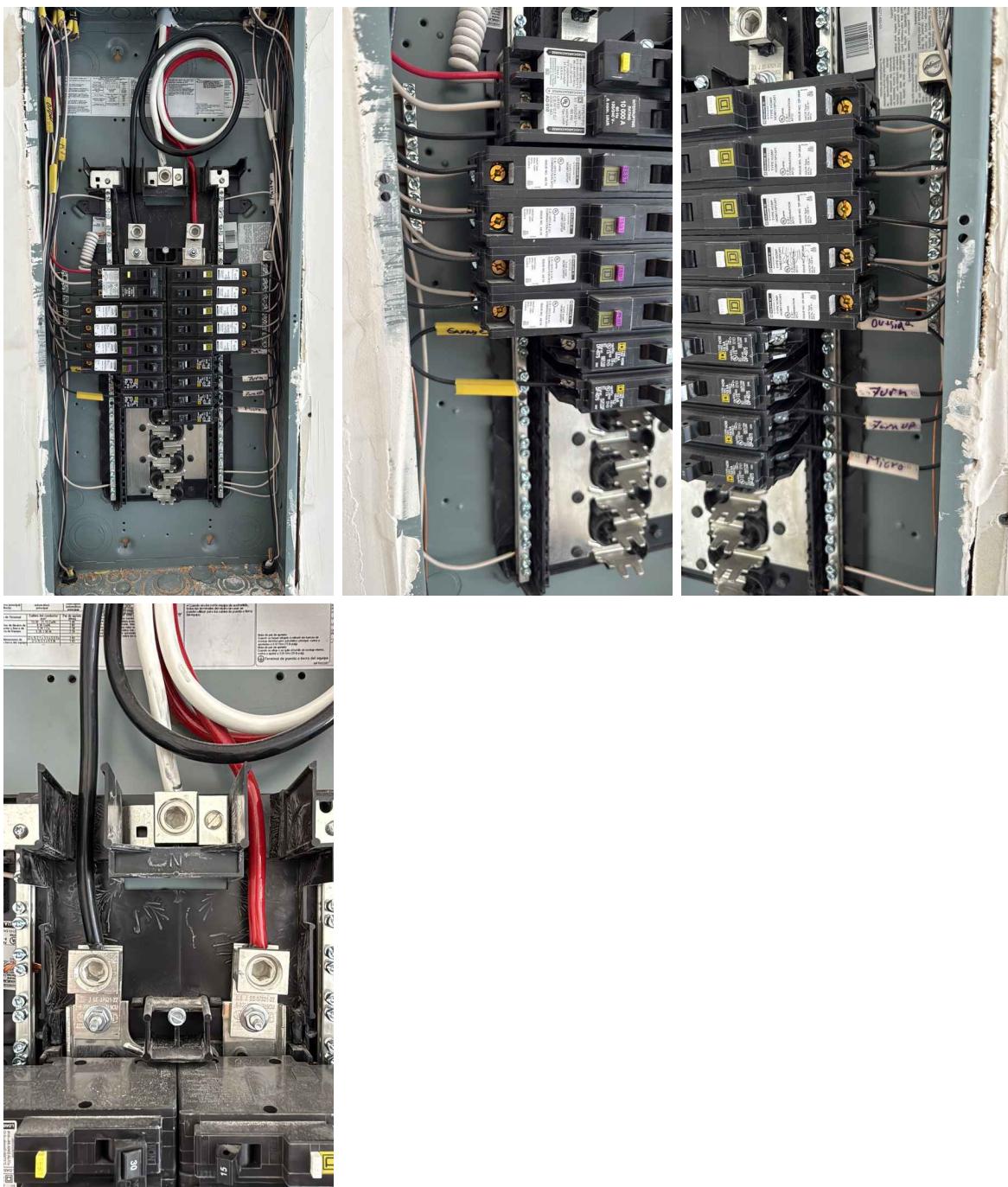
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

*Notice:*

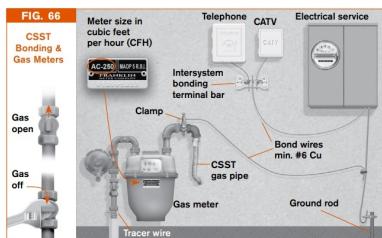
Note: When D (**D=Deficient**) is marked. It is recommended that this item be fully investigated by a Qualified Licensed Electrician, prior to the expiration of any time limitations such as option or warranty periods, to fully evaluate the integrity of the entire electrical system.

**1: Lack of Gas Pipe Bonding**

I was unable to locate the electrical bond connection for the gas piping back to the grounding electrode system. All bond connections should be accessible for inspection, repair or replacement. This condition should be further investigated and corrected if necessary.

I	NI	NP	D
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**NOTE: This is often not a local requirement however it is a defect per TREC.**



## 2: Grounding Rod Not Fully Driven

The ground electrode rod does not appear to be driven the proper depth and should be corrected.



## 3: Grounding Connection Loose

The wire connection to the ground electrode rod has pulled loose and needs to be repaired as necessary.



**B. Branch Circuits, Connected Devices, and Fixtures**

**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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*Type of Wiring:* Copper

*Comments:*

*Smoke Alarms Performing :*

Smoke and CO alarms were present and sounded when tested. We recommend bi-annual battery changes and monthly testing of these devices.

*Inaccessible Receptacles :*

Note: Some of the receptacles in the home were inaccessible and could not be reached for inspection due to height, personal effects, heavy storage, furniture or conditions outside the control of the inspector.



**1: Loose Receptacles**

Garage Areas

One or more of the receptacles were observed to be loose at the wall mount.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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## 2: Exterior Improper Covers

Low Voltage Entrance

All exterior receptacles should have weather tight covers.



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## 3: Missing Globe

Front Porch

**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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One or more of the light fixture globes and/or covers are missing.



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#### **4: GFCI Not Resetting**

Small garage

The GFCI will not reset.



**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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**C. Other**

*Comments:*

**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

**A. Heating Equipment**

*Type of Systems:* Forced Hot Air

*Energy Sources:* Natural Gas

*Comments:*

*Brand :* Concord



*Approximate Year Built:* 2025, 2024

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

*Performing :*

This component appears to be performing adequately at the time of this inspection. It is achieving an operation, function, or configuration consistent with accepted industry practices for its age.

## Upstairs Unit

*Regular Maintenance :*

It is recommended to have the HVAC system serviced annually by a qualified HVAC contractor for safety and performance of the system.

**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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*Further Evaluation Recommended :*

The HVAC system needs to be checked and serviced by a Qualified / Licensed HVAC Technician. The observations made to support the rendering of this opinion are listed but may not be limited to the following below.

Note: Due to the limited nature of a general home inspection, it is possible that additional deficiencies will be discovered by a licensed technician. It is recommended to have the system serviced prior to the expiration of any option/warranty period.

**1: Vent Inadequate Clearance**

Downstairs

The heating unit flue (vent pipe) has inadequate clearance from combustible materials. Double walled vent pipes should have at least 1-inch of clearance and single walled vent pipes should have at least 6-inches of clearance from combustible material.



**2: Dirty Furnace**

Both Units

Furnace is notably dirty and should be properly cleaned as a part of maintenance.

**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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### **3: Notable Smoke/Steam**

Downstairs Furnace

observable smoke or steam was observed coming off of the vent at a joint when the furnace was in operation. For safety, the furnace was not further functionally tested, and the cause of this condition should be evaluated and corrected for safety.



**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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**B. Cooling Equipment**

*Type of Systems:* Central Air Conditioner

*Brand:* Concord

I=Inspected

NI=Not Inspected

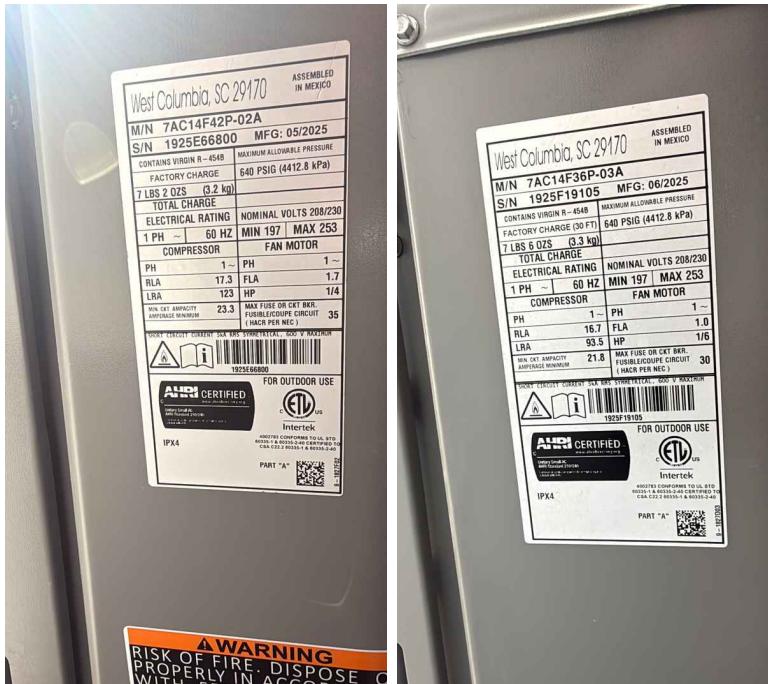
NP=Not Present

D=Deficient

I NI NP D



Approximate Condensing Unit BTU/Tonnage: 3.5 TON, 3 TON



Type of Freon: R454B

Approximate Year Built: 2025

Temperature Differential: 19°, 21°

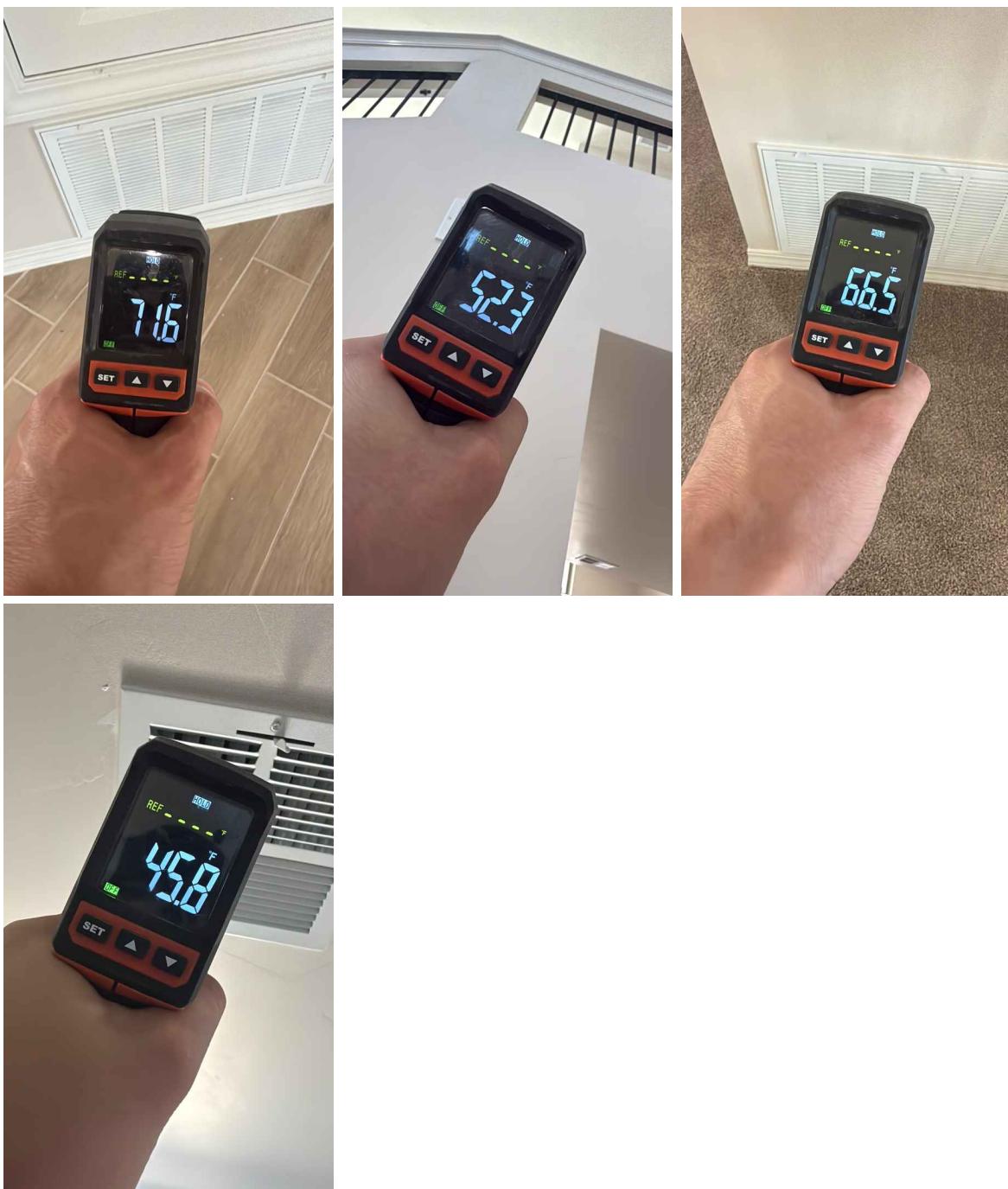
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

*Performed :*

This component appears to be performing adequately at the time of this inspection. It is achieving an operation, function, or configuration consistent with accepted industry practices for its age.

*Notice:*

Temperature differential readings (Delta-T) are an accepted industry standard of practice for testing the proper operation of the cooling system. Our company policy normal acceptable range is considered approximately **between 15 to 22 degrees °F** total difference (Delta-T) measured between the return air and supply air within close proximity of the related coils of the system being evaluated. Conditions such as but not limited to;

**I=Inspected****NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

excessive humidity, high or low outdoor temperatures or restricted airflow may indicate abnormal operation even through the equipment is functioning basically as designed and occasionally may indicate normal operation in spite of an equipment malfunction. **The inspector will not be able to anticipate future events, conditions or changes in performance of any component or system due to changes in use or occupancy. The inspector makes no guarantee or warranty, express or implied, as to future performance of any item, system or component. Sizing of HVAC systems is out of scope for this inspection.**

**Note:**

When D (**D = Deficient**) is checked, it is recommended that this item be fully investigated by a Qualified / Licensed HVAC Technician, prior to the expiration of any time limitations such as option or warranty periods, to fully evaluate the integrity of the equipment.

**1: Drain Terminates Next To Foundation**

Note: The primary condensate drain line is terminated next to the exterior foundation perimeter beam. It is recommended that the drain line terminate further away from the foundation beam or to an approved waste system.

**2: Primary and Secondary Condensate Drain Combined**

Downstairs Unit

The primary and secondary condensate drain is combined into the same condensate pump. These lines should be arranged independently or the secondary can be installed with a shut off sensor.

I=Inspected

NI=Not Inspected

NP=Not Present

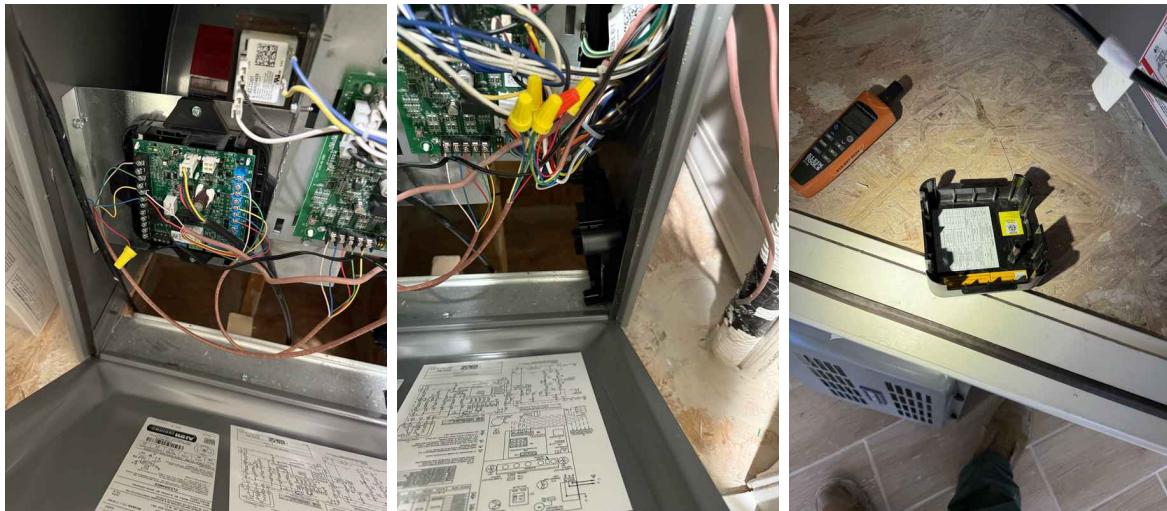
D=Deficient

I	NI	NP	D
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### 3: Covers Not Installed

Covers for the refrigerant monitoring system were not installed as required.



**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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**C. Duct Systems, Chases, and Vents**

*Comments:*

*Filter location:* Wall mounted

*Filter Size:* 14x30x1



**1: Gas Line in Return**

Upstairs

There was a gas line observed in the air return chase. Under current building standards, this is no longer an accepted practice and should be corrected.

**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

**I NI NP D**



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## **2: Drain Pipes in Return**

Downstairs

There are drain lines/waste pipes observed in the air return chase. Under current building standards, this is no longer an accepted practice and should be corrected.



**D. Other**

*Comments:*

**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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## IV. PLUMBING SYSTEMS

**A. Plumbing Supply, Distribution Systems, and Fixtures**

*Location of Water Meter: Curb*



*Location of Main Water Supply Valve : Garage*



*Static Water Pressure Reading: Over 80 psi*

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



*Type of Supply Piping Material: PEX*

*Comments:*

*Notice :*

The Inspector has attempted to discover and report conditions requiring further evaluation or repair. However, determining the condition of any component that is not visible and/or accessible, such as plumbing components that are buried, beneath the foundation, located within construction voids or otherwise concealed, and reporting any deficiency that does not appear or become evident during our limited cursory and visual survey is outside the scope of this inspection. *The inspector will not be able to anticipate future events, conditions or changes in performance of any component or system due to changes in use or occupancy.* *The inspector makes no guarantee or warranty, express or implied, as to future performance of any item, system or component.*

#### **1: Excessive Water Pressure**

The water pressure was observed to be above 80 psi at the time of this inspection. Under current plumbing standards the maximum water pressure should be 80 psi. This condition should be further evaluated and corrected as necessary.

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#### **2: Sink - Leaks into cabinet**

Kitchen, Half-Bath

The faucet assembly leaks water into the cabinet when operated.

**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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### **B. Drains, Wastes, and Vents**

*Type of Drain Piping Material: PVC*

*Comments:*

*Location of Main Clean-out: Front Yard*

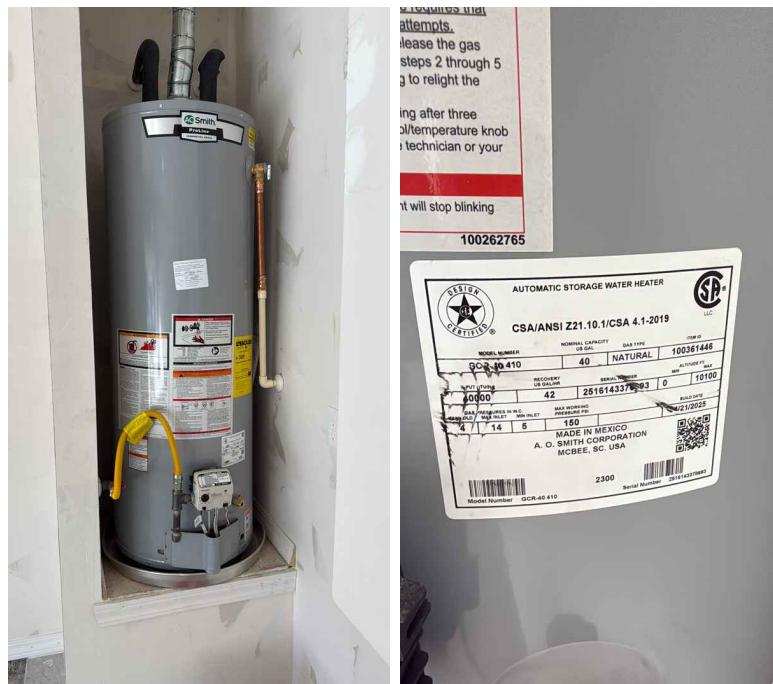


*Performing :*

All components were found to be performing and in satisfactory condition on the day of the inspection.

**I=Inspected****NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D****Notice :**

Reporting the condition of drains, wastes and vent piping that is not completely visible and/or accessible or; reporting any defect or deficiency that requires extended use of the system to develop or does not become evident during our limited cursory and visual survey is outside the scope of the inspection. This is a limited cursory and visual survey of the accessible general conditions and circumstances present at the time of this inspection. Opinions are based on general observations made without the use of specialized tools or procedures. Therefore, the opinions expressed are one of apparent conditions and not of absolute fact and are only good for the date and time of this inspection. **The inspector will not be able to anticipate future events, conditions or changes in performance of any component or system due to changes in use or occupancy.** **The inspector makes no guarantee or warranty, express or implied, as to future performance of any item, system or component**

   **C. Water Heating Equipment***Energy Sources:* Natural Gas*Capacity:* 40 Gallons*Comments:**Brand:* AO Smith*Approximate Year Built:* 2025*Performing :*

This component appears to be performing adequately at the time of this inspection. It is achieving an operation, function, or configuration consistent with accepted industry practices for its age.

I NI NP D

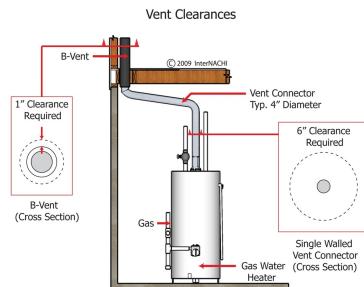


### 1: Water Temperature Too High

Note: The water temperature was observed to be over 130 degrees Fahrenheit when running the hot water. This high temperature could cause scalding/burning of the skin. It is recommended to adjust the temperature on the water heater to a lower setting. The general recommended setting for a water heater is between 120-130 degrees Fahrenheit.

### 2: Flue - Improper Clearance

The water heater flue (vent pipe) has inadequate clearance from building materials. Double walled vent pipes should have at least 1-inch of clearance and single walled vent pipes should have at least 6-inches of clearance from building material.



I=Inspected

NI=Not Inspected

NP=Not Present

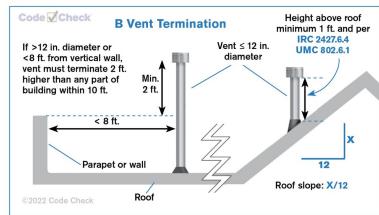
D=Deficient

I NI NP D



### 3: Flue - Improper Termination

The heater flue pipe does not terminate in a proper location. Under current building standards, gas appliance flue pipes shall terminate at least 4 feet below, 4 feet horizontally from or 1 foot above any door, operable window or air inlet into any building. The flue should be 2 feet higher than any obstacle within 8 feet.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

**D. Hydro-Massage Therapy Equipment**

*Comments:*

**E. Gas Distribution Systems and Gas Appliances**

*Location of Gas Meter:* Left Exterior*Type of Gas Distribution Piping Material:* Black Steel*Comments:**Notice:*

The Inspector will use a combustible gas leak detector on accessible gas lines, joints, unions and connectors and report visible deficiencies found at the time and date of the inspection. The inspector inspects the gas lines from the point they enter the structure and will complete the inspection without digging, damaging property, permanent construction or building finish. When performing the inspection, the inspector will keep in consideration the age of the system and normal wear and tear from ordinary use when rendering opinions. The inspector is not required to and will not inspect sacrificial anode bonding or for its existence. The Inspector is not licensed to and will not perform a pressure test on the gas line system. The Inspector cannot detect gas leaks below the finished grade (underground), construction voids, between the walls or behind fireplace hearths. Propane tanks will not be inspected. If any further concerns exist about possible gas line failure and/or deficiencies or code compliance, we recommend the buyer have the gas system further evaluated by the local controlling gas supplier and/or a qualified licensed master plumber prior to the expiration of any time limitations such as option or warranty periods

A Carbon Monoxide (CO) meter is used at the discretion of the inspector as per the manufacture instructions of the device to assist in confirming the presence or absence of Carbon Monoxide on the day of the inspection only. Carbon Monoxide is a deadly, odorless, and colorless gas produced by the incomplete combustion of fuel-fired appliances or vehicles. This is not a substitute for working CO alarms or for ensuring gas appliances are well maintained. We do not warranty or guarantee against future CO emissions from fuel fired appliances. Fuel burning appliances should be maintained regularly by a professional. Weather conditions may affect if CO is present in the building as draft characteristics can be affected. Should a CO alarm sounds and/or symptoms of CO poisoning occur, the building should be evacuated and 911 called.

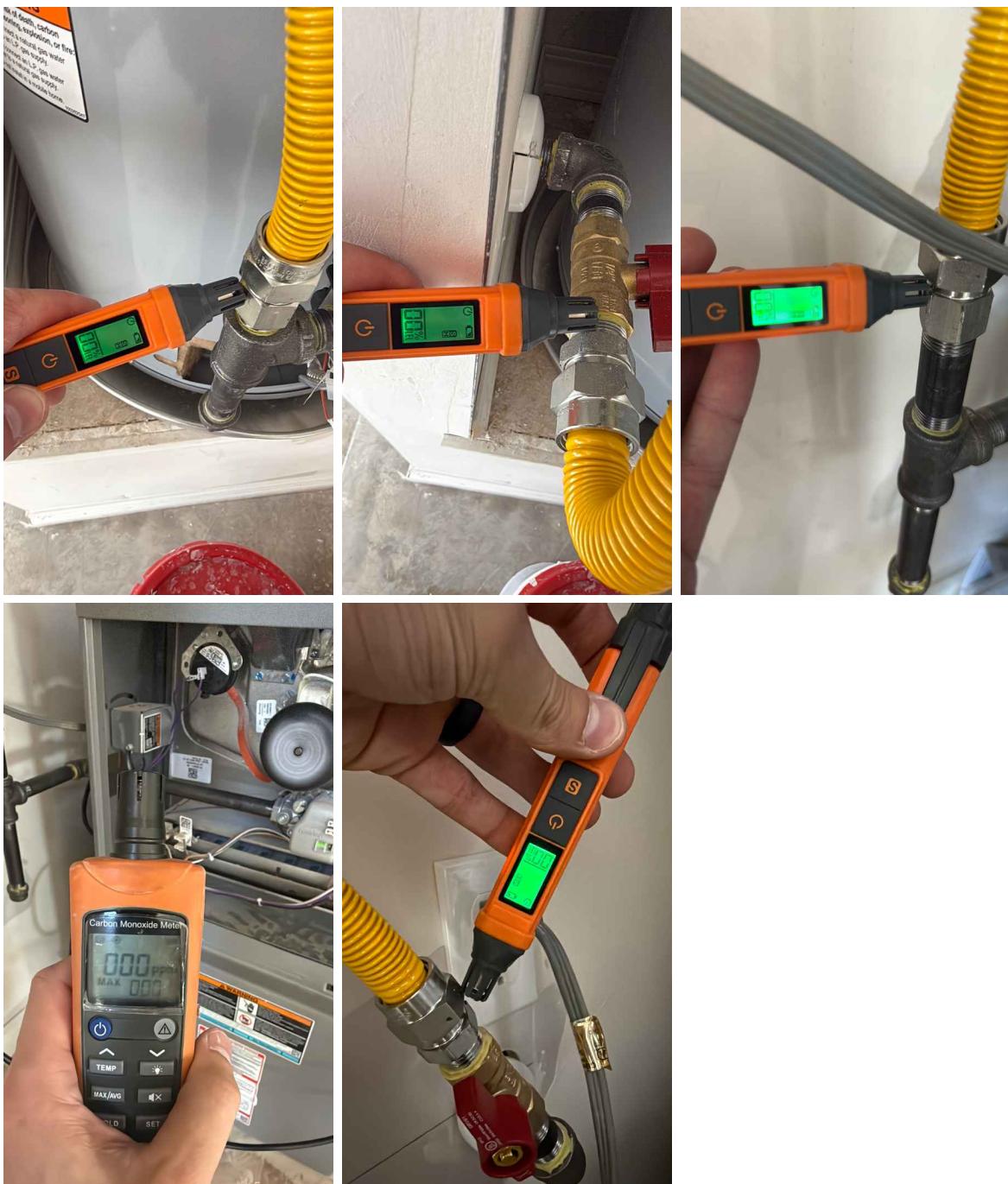
## I=Inspected

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

I NI NP D



**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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## V. APPLIANCES

**A. Dishwashers**

*Comments:*

*Manufacturer:* Samsung



*Performing :*

This component appears to be performing adequately at the time of this inspection.



**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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**B. Food Waste Disposers**

*Comments:*

*Manufacturer:* Moen



*Performing :*

This component appears to be performing adequately at the time of this inspection.

**C. Range Hood and Exhaust Systems**

*Comments:*

*Exhaust Hood Type:* Recirculating Microwave Vent Hood



*Manufacturer:* Samsung

*Performing :*

This component appears to be performing adequately at the time of this inspection.

**D. Ranges, Cooktops, and Ovens**

*Comments:*

*Range, Cook Top or Oven Manufacturer:* Samsung

**I=Inspected****NI=Not Inspected****NP=Not Present****D=Deficient**

I	NI	NP	D
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*Performing :*

This component appears to be performing adequately at the time of this inspection.

    **E. Microwave Ovens***Comments:**Manufacturer:* Samsung

**I=Inspected****NI=Not Inspected****NP=Not Present****D=Deficient**

I	NI	NP	D
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*Performing :*

This component appears to be performing adequately at the time of this inspection.

    **F. Mechanical Exhaust Vents and Bathroom Heaters***Comments:***1: Not Functioning Properly**

Half-Bath

The mechanical exhaust vent fan does not appear to be functioning properly as the damper does not open when operated. This may indicate a disconnected vent duct or a stuck damper. This condition should be further evaluated and corrected.

**2: Termination - Exposed Building Material**

**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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Exposed building materials are present at the termination. It is recommended that these areas are properly finished and sealed to prevent moisture intrusion.



**G. Garage Door Operators**

*Comments:*

*Manufacturer:* Genie, Not Present



**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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### **1: Manual Lock Present**

When an automatic garage door opener is in use, the manual lock should be disabled or removed.



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### **2: Not Functioning Properly**

The garage door opener was observed with a manual release that will not re-engage. This condition prevents the automatic operation of the garage door and should be corrected.



**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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**H. Dryer Exhaust Systems**

*Comments:*

*Dryer Vent Location:* Left Side

*Dryer Service :* Electric - 4 Prong

**1: Dryer Vent Terminating Next to Condenser**

Note: The dryer exhaust duct terminates in close proximity of the HVAC condenser/coils. This condition will require the condenser/coils to be cleaned more often and should be closely monitored.



**I. Other**

*Comments:*

*Refigerator :*

Courtesy check of Refrigerator and freezer temperatures. Ice and water function not tested.



**I=Inspected****NI=Not Inspected****NP=Not Present****D=Deficient**

I	NI	NP	D
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*Washing Machine :*

Washing machine was ran though a brief cycle and appeared to perform. Note that due to the installation of this appliance, the inspector has a limited view of systems and components behind the unit.

*Dryer:*

Dryer was ran through a brief cycle and appeared to perform. Note that due to the installation of this appliance, the inspector has a limited view of systems and components behind the unit.

**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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I	NI	NP	D
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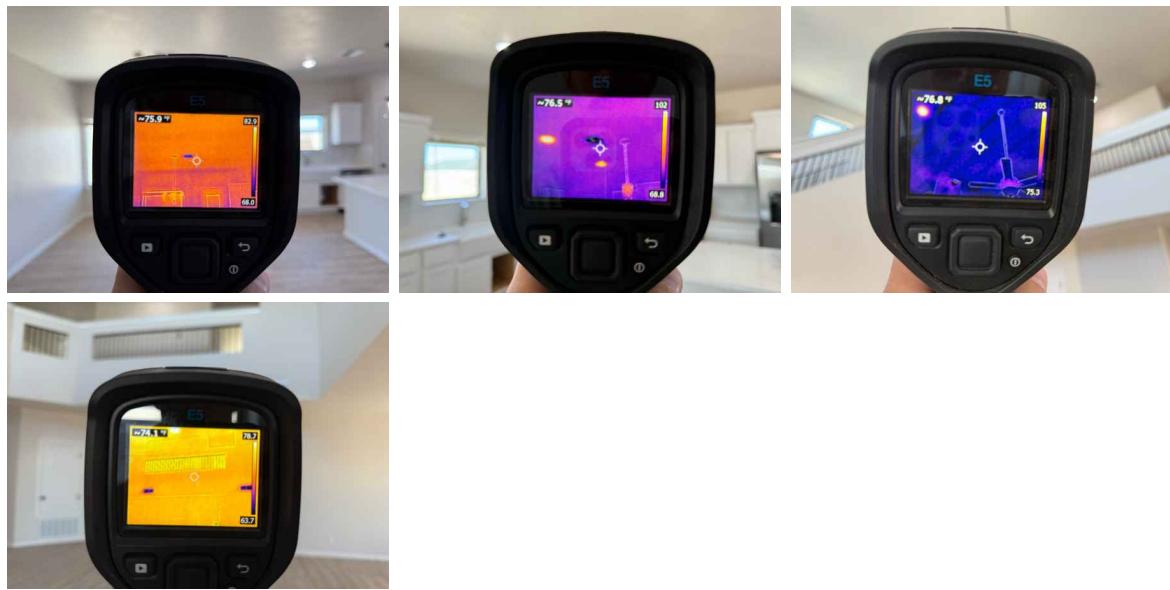
## VI. OPTIONAL SYSTEMS

**G. Other**

*Comments:*

*Thermal Imaging - No Anomalies :*

Thermal scan revealed no significant temperature difference anomalies of concern on the day of inspection.



*Thermal Imaging - Limited Scan:*

Client has agreed to the limited use of an infrared imaging camera by the Inspector during this inspection. Client understands the Inspector may perform infrared imaging scans of selected surfaces completely at the discretion of the Inspector. Client also understands that infrared imaging does not guarantee locating or discovering possible concealed defects including water damage, structural defects, insulation deficiencies, electrical defects. To capture acceptable infrared thermal images during this inspection, a temperature differential of a minimum 18 degrees Fahrenheit between the interior and exterior of the inspected structure must be obtained. Any temperature difference below this threshold can limit in it's findings and may conceal anomalies. Exterior surfaces must be reasonably free of water. Furniture, wall hangings and stored items may limit the infrared scans. Reflective surfaces including glass and foil faced wall insulation will not allow for acceptable infrared imaging of these areas. Roof imaging scans are excluded from this inspection unless Inspector determines acceptable standard roof imaging conditions exist during the inspection and may be beneficial to the Client. Contrary to popular belief, thermal imaging DOES NOT allow an inspector to "see behind walls" as claimed by some. This device only allows comparison of surface temperatures and can show anomalies, which are temperature differences that are significantly dissimilar to the same surrounding material temperature which may be caused by a latent defect. Anomalies noted do not guarantee there is a defect behind the surface. It only means that an industry professional should further evaluate to determine if a defect likely exists. This may require invasive and destructive inspection that is outside the scope of a general home inspection.

**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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## FINAL CHECKLIST

*Range/Oven Off?:* Yes



*Windows Locked?:* Yes

*Doors Locked?:* Yes



*Thermostat Back to Original Setting?:* Yes

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



*Lights Turned Off?: Yes*

*Keys in Lockbox?: Yes*

